

CAPITAL FORD PARKING EXPANSION

4400 OLEANDER DRIVE
WILMINGTON, NORTH CAROLINA

TRC SUBMITTAL

REVISED AUGUST 2019

FOR

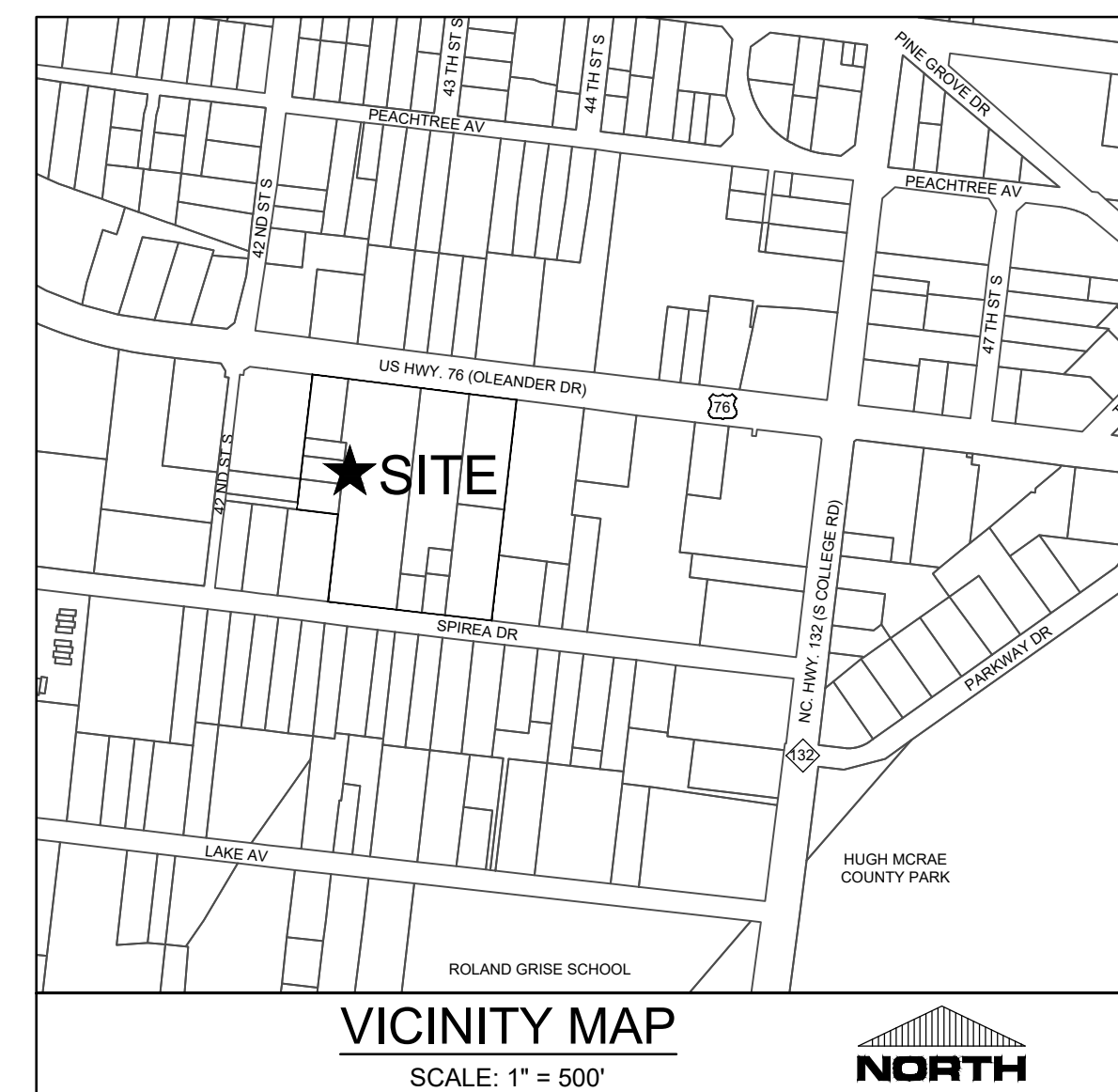
CAPITAL PROPERTIES OF WILMINGTON, LLC

4900 Leigh Drive, Raleigh, NC 27616

OWNER/DEVELOPER:
CAPITAL PROPERTIES OF WILMINGTON, LLC
4900 LEIGH DRIVE
RALEIGH, NC 27616
PHONE: (910) 442-2700
ATTN: DOUGLAS BARBOUR

CAPITAL INVESTMENT PROPERTIES OF WILMINGTON, LLC
4222 OLEANDER DRIVE
WILMINGTON, NC 28403
PHONE: (910) 442-2700
ATTN: DOUGLAS BARBOUR

ENGINEER / LANDSCAPE ARCHITECT:
PARAMOUNTE ENGINEERING, INC.
122 CINEMA DRIVE
WILMINGTON, NORTH CAROLINA 28403
ATTN: JEREMY BLAIR, P.E.
PHONE: (910) 791-6707



NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTACT THESE UTILITIES

CITY OF WILMINGTON PLANNING & DEVELOPMENT
ATTN: BRIAN CHAMBERS, PLANNER
PH: 910-342-2782

ATTN: ZONING INSPECTIONS
PH: 910-254-0900

PIEDMONT NATURAL GAS
ATTN: CATHY PLEASANT
PH: 910-251-2827

EMERGENCY DIAL 911
POLICE - FIRE - RESCUE

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)
ENGINEERING/INSPECTIONS
PH: 910-332-6560

OPERATIONS/MAINTENANCE
PH: 910-332-6550

DUKE ENERGY
DISTRIBUTION CONSTRUCTION SERVICE
PH: 910-256-7223
DEP CSC PH: 1-800-452-2777

AT&T/BELL SOUTH
ATTN: JAMES BATSON, ENGINEERING
PH: 910-341-1821

TIME WARNER CABLE
PH: 910-763-4638



CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
	COVER SHEET
C-1.0	GENERAL NOTES
C-1.1	SITE INVENTORY
C-1.2	DEMOLITION PLAN
C-2.0	SITE PLAN
C-2.1 - C-2.2	AUTOTURN FIGURE
C-3.0	EROSION CONTROL PLAN
C-4.0	GRADING AND DRAINAGE PLAN
C-5.0 - C-5.3	DETAILS
L-1.0	LANDSCAPE PLAN
L-1.1	TREE INVENTORY & REMOVALS



122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846
PROJECT # 17410.PE

COORDINATION NOTES:

1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY, CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPAU), AND THE STATE OF NORTH CAROLINA.
3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
4. ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING AREAS, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS BY OTHERS FOR ALL BUILDING DIMENSIONS AND DETAILS.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. THE EROSION CONTROL PLAN SHALL INCLUDE PROVISIONS FOR GROUND/COVER ON ALL EXPOSED PERIMETER DICES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. GROUND COVER SHALL BE PROVIDED ON ALL OTHER DISTURBED AREAS WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
2. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK. (NO SEPARATE PAYMENT).
3. THE CONTRACTOR SHALL NOTIFY PLAN APPROVING AUTHORITY ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
6. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS STAGING OR STORAGE AREAS), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NEW HANOVER COUNTY FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.
7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY EITHER THE REVIEWING AGENCY OR THE ENGINEER. (NO SEPARATE PAYMENT).
8. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
9. ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SOODED OR SEEDED AS INDICATED AND STABILIZED.
10. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING EVENT, ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY CONTRACTOR ONCE STABILIZATION OR A SUFFICIENT GROUND COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER. (NO SEPARATE PAYMENT). NCDENR'S FINAL APPROVAL IS REQUIRED.
13. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. (NO SEPARATE PAYMENT).
14. WHEN CROSSING CREEK OR DRAINAGE-WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED PRIOR TO DISTURBING A CREEK. THE CONTRACTOR SHALL INSTALL RIP-RAP WITH FABRIC ALONG DISTURBED BANKS AND CHANNEL AND RESTORE SLOPES TO ORIGINAL CONTOURS, BUT NOT STEEPER THAN 2:1 MAXIMUM. DISTURBED CREEK AREA SHALL BE STABILIZED IMMEDIATELY.

EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES:

NOTE: THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH "PHASE" OF CONSTRUCTION. THE ORDER AND STEPS TAKEN MUST BE IMPLEMENTED AS EACH PART OF THE PHASE IS COMPLETED. WHETHER AS A WHOLE OR IN PHASES. ANY EROSION CONTROL DEVICES/MEASURES MUST REMAIN IN PLACE UNTIL THE ENTIRE DISTURBANCE IS STABILIZED AND ALL IMPROVEMENTS WITHIN THE DISTURBANCE LIMITS ARE COMPLETE.

1. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCE(S), ESTABLISH THE LIMITS OF DISTURBANCE, TREE PROTECTION FENCING, AND TEMPORARY SLIP FENCE.
2. CLEAR AND REMOVE FROM SITE TREES AS DESIGNATED, ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE DESIGNATED CLEARING LIMITS.
3. INSTALL REMAINING EROSION CONTROL MEASURES AS SHOWN ON THE PLANS WITHIN THE AREA DISTURBED. ALL EROSION CONTROL MEASURES MUST BE INSTALLED BEFORE COMMENCING CONSTRUCTION.
4. PLANT GRASS OVER ALL GRADED AREAS WITHIN 14 WORKING DAYS OF CEASE OF ANY GRADING ACTIVITY.
5. IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE CATCH BASIN, DROP INLET, ETC., THE CONTRACTOR SHALL INSTALL INLET PROTECTION TO PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INDENTURE/BE DAMAGED DUE TO THE FAILURE OF THE EROSION CONTROL MEASURES.
7. DURING GRADING AND AFTER GRADING HAS BEEN COMPLETE, THE CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL APPROVAL BY ENGINEER OR EROSION CONTROL INSPECTOR.
8. UPON RECEIVING FINAL APPROVAL, THE CONTRACTOR CAN REMOVE TEMPORARY EROSION CONTROL MEASURES.
9. THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN GRASS & PLANTED AREAS UNTIL ALL CONSTRUCTION IS COMPLETE.

NC ACCESSIBILITY NOTES:

GENERAL NOTES:

1. SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
2. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. PARAMOUNT ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE POINT IN TIME WHEN THEY ARE BIDDING THE PROJECT. IN ADDITION, PARAMOUNT ENGINEERING HAS MADE A POINT IN THESE NOTES AND DETAILS, AS WELL AS IN OUR DRAWINGS, TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS. IF THESE SLOPES / GRADES AND DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK.
3. THE CONTRACTOR SHALL NOTIFY PARAMOUNT ENGINEERING IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS, WHETHER BY PARAMOUNT ENGINEERING OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE ALLEGED CONFLICT HAS BEEN DISCOVERED UNTIL SUCH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY OR DAMAGES AS A RESULT OF RESOLUTION OF ANY SUCH CONFLICT(S).
4. THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.

ACCESSIBLE ROUTE NOTES:

1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STOPS OR SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.
2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
3. WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
4. ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.
5. TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSH/AND FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAXIMUM VERTICAL CHANGE IN LEVEL PERMITTED).
6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
7. THE MINIMUM CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES SHALL BE FORTY-EIGHT (48) INCHES MINIMUM MEASURED BETWEEN HANDRAILS WHERE HANDRAILS ARE PROVIDED (NC BUILDING CODE 1104.1 & 1104.2).
8. WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM AROUND THE TURN, FORTY-FOUR (44) INCHES MINIMUM SPACING, OR AN INTERSECTION OF TWO (2) INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE THIRTY-SIX (36) INCHES MINIMUM WHEN THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINIMUM. * SEE NOTE 7 ABOVE FOR NC CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES*
9. AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALL PROVIDE PASSING SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM. PASSING SPACES SHALL BE EITHER A SIXTY (60) INCH MINIMUM BY SIXTY (60) INCH MINIMUM SPACE, OR AN INTERSECTION OF TWO (2) WALKING SURFACES THAT PROVIDE A COMPLIANT T-SHAPED TURNING SPACE, PROVIDED THE BASE AND ARMS OF THE T-SHAPED SPACE EXTEND FORTY-EIGHT (48) INCHES MINIMUM BEYOND THE INTERSECTION.
10. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
11. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES.
12. WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE. IN THE EVENT THAT A DRAINAGE INLET MUST BE LOCATED ON AN ACCESSIBLE ROUTE, THE GRATE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), A117.1, THE NC BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.

RAMP NOTES:

1. ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.
2. THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
3. THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING CODE 1104.1), WHERE HANDRAILS ARE PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE MEASURED BETWEEN THE HANDRAILS.
4. THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
5. LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2.0% IN ANY DIRECTION. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING. THE LANDING CLEAR LENGTH SHALL BE SIXTY (60) INCHES LONG MINIMUM. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDINGS OF SIXTY (60) INCHES BY SIXTY (60) INCHES MINIMUM.
6. RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
7. FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
8. EDGE PROTECTION COMPLYING WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS.
9. WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1 SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA. WHERE DOORS THAT ARE SUBJECT TO LOOKING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED TO PROVIDE A COMPLIANT TURNING SPACE.

CURB RAMP NOTES:

1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (36) MINIMUM, EXCLUSIVE OF FLARED SIDES, IF PROVIDED. *NOTE NC BUILDING CODE REQUIRES EXTERIOR ACCESSIBLE ROUTES TO BE 48 INCHES MINIMUM WIDE (1104.1 & 1104.2).
4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION.
5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
6. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES. CURBS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
8. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
9. IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLIING WITH 408.12 A117.1, EXTENDING THE FULL WIDTH OF THE RAMP. REFER TO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES. THE NC BUILDING CODE DOES NOT CURRENTLY REQUIRE DETECTABLE WARNINGS AT CURB RAMPS, NOR DO THE 2010 ADA STANDARDS - HOWEVER US DOT ADA REGULATIONS DO REQUIRE THESE.
10. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROUED, 1/2 INCH WIDE BY 1/4 INCH DEEP, ONE (1) INCH CENTERS TRANSVERSE TO THE RAMP.
11. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
12. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
13. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.
14. CURB RAMP TYPE AND LOCATION ARE PER PLAN.

NC ACCESSIBILITY NOTES CONTD.

PARKING SPACE NOTES:

1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
2. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESS AISLES SHALL BE 60 INCHES WIDE. ONE OF SIX ACCESSIBLE SPACES SHOULD PROVIDE A VAN ACCESSIBLE AISLE. THE AISLE SHOULD BE 96 INCHES WIDE (OR ACCESSIBLE SPACE IS 11 FEET AND ACCESS AISLE IS FIVE FEET), WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH LINES, THE WIDTH MEASUREMENTS SHALL BE MADE FROM CENTERLINE OF THE MARKINGS. WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLES, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE.
3. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FOR ACCESSIBLE ROUTES. MARKED CROSSINGS SHALL BE PROVIDED WHERE THE ACCESSIBLE ROUTE MUST CROSS VEHICULAR TRAFFIC LANES. WHERE POSSIBLE, IT IS PREFERABLE THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES.
4. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.
5. ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.
6. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.
7. ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.
8. FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
9. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
10. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
11. PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES MINIMUM. SIGNS SHALL BE PROVIDED AT ENTRANCES TO PARKING FACILITIES INFORMING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.
12. EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE INSTALLED AT A MINIMUM CLEAR HEIGHT OF SIX (6) INCHES ABOVE GRADE AND SHALL NOT INTERFERE WITH AN ACCESSIBLE ROUTE FROM AN ACCESS AISLE. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED WITH BOLLARD PROTECTION.
13. SIGNAGE AT ACCESSIBLE PARKING SPACES REQUIRED BY THE NC BUILDING CODE SECTION 1106.15 SHALL COMPLY WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTE 20-37.6 AND 136-30 AND THE NCDOT UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES. A SEPARATE SIGN IS REQUIRED FOR EACH SPACE. SIGNS TO INDICATE THE MAXIMUM PERMITS MUST BE PROVIDED AT EACH ACCESSIBLE SPACE.
14. ACCESSIBLE PARKING SPACE, ACCESS AISLE STRIPING, AND INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED BLUE (OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT).

PASSENGER LOADING ZONE NOTES:

1. PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM.
2. PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY SERVE.
3. ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY.
4. VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE VEHICLE PULL-UP SPACE THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
5. FLOOR SURFACES OF VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.
6. VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR EXIT SERVING THEM, SHALL PROVIDE A VERTICAL CLEARANCE OF ONE HUNDRED FOURTEEN (114) INCHES MINIMUM.

ACCESSIBLE ENTRANCE NOTES:

1. ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) AND THE NORTH CAROLINA BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.
2. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE/ANSI A117.1 AND SHALL BE ON AN ACCESSIBLE ROUTE.

GENERAL NOTES:

1. TREE INVENTORY AND TOPOGRAPHIC SURVEY ON CAROLINAS COLLISION OF WILMINGTON, LLC PARCEL COMPLETED BY PARAMOUNT ENGINEERING, INC. ALL OTHER TREE INVENTORY, TOPOGRAPHIC, AND BOUNDARY SURVEYS COMPLETED BY HANOVER DESIGN SERVICES, P.A. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER AND ENGINEER.
2. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC.
3. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
4. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION SIGNING MANUAL AND CONDITIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE USDOT.
5. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
6. ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
7. CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 811 AN ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.
8. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
9. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
10. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
11. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
12. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
13. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
14. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
15. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
16. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER, THE CITY OF WILMINGTON, NEW HANOVER COUNTY, OR CFPAU, RESPECTIVELY.
17. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE OTHER OBSTRUCTIONS OR FROM DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT NORTH CAROLINA ONE CALL* TOLL FREE 1-800-452-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES.
18. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
19. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
20. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE REFLECTIVE MARKINGS AND SHALL CONFORM TO MUTCD. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
21. LANDSCAPE PLANTINGS AT ENTRANCE/ EXITS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS PER LOCAL STANDARDS.
22. ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.

TRAFFIC NOTES:

1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY(S) ARE TO BE THERMOPLASTIC & MEET CITY OF WILMINGTON AND/OR NCDOT STANDARDS.
2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
5. ANY OPEN CUTTING OF A CITY STREET REQUIRES A UTILITY CUT PERMIT. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
6. CONTACT TRAFFIC ENGINEERING, AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
7. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND/OR CURBING SHALL BE REPLACED.
8. TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.

PERMANENT SEEDING

GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE
BERMUDA, HULLED	10-20	MARCH - AUGUST	BY SOIL TEST
BERMUDA, UNHULLED	35	SEPT. - FEB.	
CENTIPEDA	10	MARCH - AUGUST	BY SOIL TEST (NO HIGH PH)
TALL FESCUE (COEAL CULTIVAR RECOMMENDED)	50	MARCH - AUGUST	300 LB/AC 10-20-20 OR BY SOIL TEST
SLOPES >= 2:1 CENTIPEDA, SERICAEA, LESPEDAZA	5 20	JAN - DEC	BY SOIL TEST

TEMPORARY SEEDING

GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE
RYE GRAIN	50	OCT. - APR.	400 LBS/AC. 10-20-20
SWEET SUDAN GRASS	50	JUNE - AUGUST	400 LBS/AC. 10-20-20
GERMAN OR BROWNTOP MILLET	50	JUNE - AUGUST	400 LBS/AC. 10-20-20
STRAW MULCH AS NEEDED	4,000		

PERMANENT SEEDING

GRASS SWALES - INSPECT SWALES WEEKLY AND AFTER EVERY RAINFALL EVENT. AFTER GRASS HAS BEEN ESTABLISHED INSPECT THE SWALES PERIODICALLY AND AFTER EVERY HEAVY 8 INCH OR GREATER RAINFALL EVENT AND REPAIR IMMEDIATELY. INSPECT THE CHANNEL, OUTLET AND ALL ROAD CROSSINGS FOR BANK STABILITY AND EVIDENCE OF PIPING OR SCOUR HOLES. REMOVE ALL SIGNIFICANT SEDIMENT ACCUMULATIONS TO MAINTAIN THE DESIGNED CARRYING CAPACITY. KEEP THE GRASS IN A HEALTHY, VIGOROUS CONDITION AT ALL TIMES, SINCE IT IS THE PRIMARY EROSION PROTECTION FOR THE CHANNEL.

ROCK PIPE INLET PROTECTION - INSPECT WEEKLY AND AFTER EACH SIGNIFICANT 8 INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE SEDIMENT STORAGE AREA WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF DESIGN DEPTH OF THE TRAP. ANY RIP-RAP DISPLACED FROM THE STONE HOSE/SHOE MUST BE REPLACED IMMEDIATELY. ROCK WILL BE REPLACED WHEN IT BECOMES CLOGGED WITH SEDIMENT OR NOT LONGER DRAINS AS DESIGNED.

STABILIZATION TIME FRAMES:

*IN THE EVENT THAT THE GOVERNING AGENCIES TIMEFRAME FOR STABILIZATION VARY, CONTRACTOR SHALL MEET THE MORE STRINGENT REQUIREMENT.

NPDES WATER QUALITY STABILIZATION TIME FRAMES

SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
PERMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HGW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE, EXCEPT FOR PERIMETERS AND HGW ZONES

FIRE AND LIFE SAFETY NOTES:

1. CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
2. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
3. HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE).
4. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
5. PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION AT 341-9959.
6. FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLATFORM.
7. IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
8. ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRICALLY SUPERVISED. PLEASE WORK CLOSELY WITH YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARDS TO RUNNING WIRE FOR TAMPER SWITCH.
9. CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.

GENERAL STORM SEWER NOTES:

1. ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF WILMINGTON REQUIREMENTS AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
2. BEDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE DRAWINGS.
3. ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS.

EXISTING UTILITY NOTES:

1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
2. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.

WETLAND NOTES:

- 1) THERE ARE NO WETLANDS FLAGGED OR SURVEYED ON THE PROPERTY.

GENERAL NOTES:

THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.

CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EXCAVATION.

DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES, ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE GEOTECHNICAL ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.

THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO THE OWNER.

ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.

THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION HAS BEGUN. AFTERWARDS, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.

EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.

ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.

CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.

CONTRACTOR SHALL MAINTAIN REQUIRED DISTANCES FROM HIGH VOLTAGE OVERHEAD LINES AND REMOVE TREES SO THEY DO NOT FALL TOWARDS OVERHEAD ELECTRICITY.

PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.

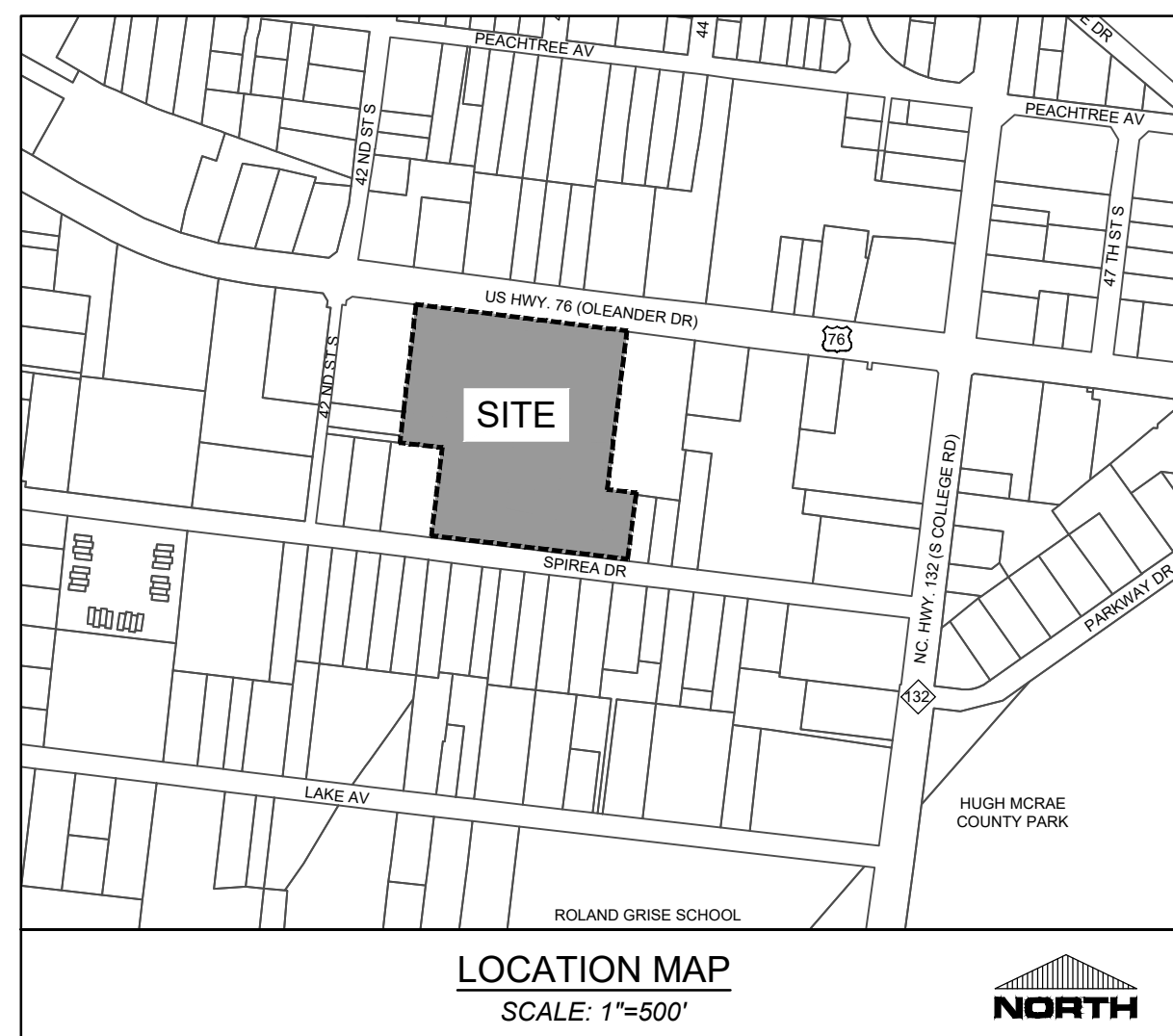
ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.

EXISTING FIRE HYDRANTS ON OR NEAR THE SITE ARE TO REMAIN IN SERVICE.

INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS.

CURB RAMP NOTES:

1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (36) MINIMUM, EXCLUSIVE OF FLARED SIDES, IF PROVIDED. *NOTE NC BUILDING CODE REQUIRES EXTERIOR ACCESSIBLE ROUTES TO BE 48 INCHES MINIMUM WIDE (1104.1 & 1104.2).
4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION.
5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
6. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES. CURBS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
8. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
9. IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLIING WITH 408.12 A117.1, EXTENDING THE FULL WIDTH OF THE RAMP. REFER TO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES. THE NC BUILDING CODE DOES NOT CURRENTLY REQUIRE DETECTABLE WARNINGS AT CURB RAMPS, NOR DO THE 2010 ADA STANDARDS - HOWEVER US DOT ADA REGULATIONS DO REQUIRE THESE.
10. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROUED, 1/



BUILDING INFORMATION
 CONSTRUCTION TYPE : TYPE B - BUSINESS (AUTO SHOW ROOM)
 MAX. HEIGHT 18' - 6"
 LOT COVERAGE 10.3% (EXISTING)
IMPERVIOUS INFORMATION
 TOTAL EXISTING IMPERVIOUS AREA: 269,534 SF
 EXISTING PERCENT IMPERVIOUS: 269,534 / 340,716 = 79%

DIMENSIONAL REQUIREMENTS
 CB - COMMUNITY BUSINESS
 - MINIMUM LOT AREA: 1 ACRE
 - MINIMUM LOT WIDTH: 100'
 - MAXIMUM LOT COVERAGE: 40%
 - MINIMUM FRONT SETBACK: 25'
 - MINIMUM REAR SETBACK: 15', 25' WHEN ABUTTING RESIDENTIAL
 - MINIMUM INTERIOR SIDE SETBACK: 0', 20' WHEN ABUTTING RESIDENTIAL
 - MINIMUM CORNER LOT SIDE SETBACK: 25'
 - MAXIMUM BUILDING HEIGHT: 35'+
 PROPOSED BUILDING SETBACKS
 FRONT SETBACK 124' (EXISTING STRUCTURE)
 SIDE SETBACK 32' (EXISTING STRUCTURE)
 R-15 - RESIDENTIAL DISTRICT
 - MINIMUM LOT AREA: 15,000 SF
 - MINIMUM LOT WIDTH: 80'
 - MAXIMUM LOT COVERAGE: 50%
 - MINIMUM FRONT SETBACK: 30'
 - MINIMUM REAR SETBACK: 15', 25' WHEN ABUTTING RESIDENTIAL
 - MINIMUM INTERIOR SIDE SETBACK: 10'
 - MINIMUM CORNER LOT SIDE SETBACK: 15'
 - MAXIMUM BUILDING HEIGHT: 35'
 PROPOSED BUILDING SETBACKS
 FRONT SETBACK NO STRUCTURES PROPOSED
 SIDE SETBACK NO STRUCTURES PROPOSED

SPIREA DRIVE PROPERTY OWNERS

1	3136-48-8747.000; OWNER: MORRIS MARY R ZONING: R7 CD; LAND USE: RESIDENTIAL USE	7	3136-58-2743.000 OWNER: HOFFMAN GREGORY JAMES ZONING: R15; LAND USE: RESIDENTIAL USE
2	3136-48-9716.000; OWNER: MORRIS MARY R ZONING: R7 CD; LAND USE: RESIDENTIAL USE	8	3136-58-3712.000 OWNER: MASTERSON BRYCE ALLEN ZONING: R15; LAND USE: RESIDENTIAL USE
3	3136-48-9775.000 OWNER: SINGHISEN ROBERT JAMES ZONING: R15; LAND USE: RESIDENTIAL USE	9	3136-58-3761.000 OWNER: MASTERSON ALLEN L ZONING: R15; LAND USE: RESIDENTIAL USE
4	3136-58-0745.000 OWNER: PRUETT JOHN M ZONING: R15; LAND USE: RESIDENTIAL USE	10, 11	3136-58-4730.000, 3136-58-5710.000 OWNER: UNITARIAN UNIVERSALIST ZONING: R15; LAND USE: CIVIC/ VACANT
5	3136-58-1704.000 OWNER: MASTERSON BRYCE ALLEN ZONING: R15; LAND USE: RESIDENTIAL USE	12	3136-58-3761.000 OWNER: WENSON BRUCE P BARBARA P TRUST ZONING: MFL; LAND USE: MULTI-FAMILY RESIDENTIAL
6	3136-58-1773.000 OWNER: MASTERSON BRYCE ALLEN ZONING: R15; LAND USE: RESIDENTIAL USE	13	3136-58-6791.000 OWNER: SEAY PATRICIA H ZONING: R15 LAND USE: RESIDENTIAL USE

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

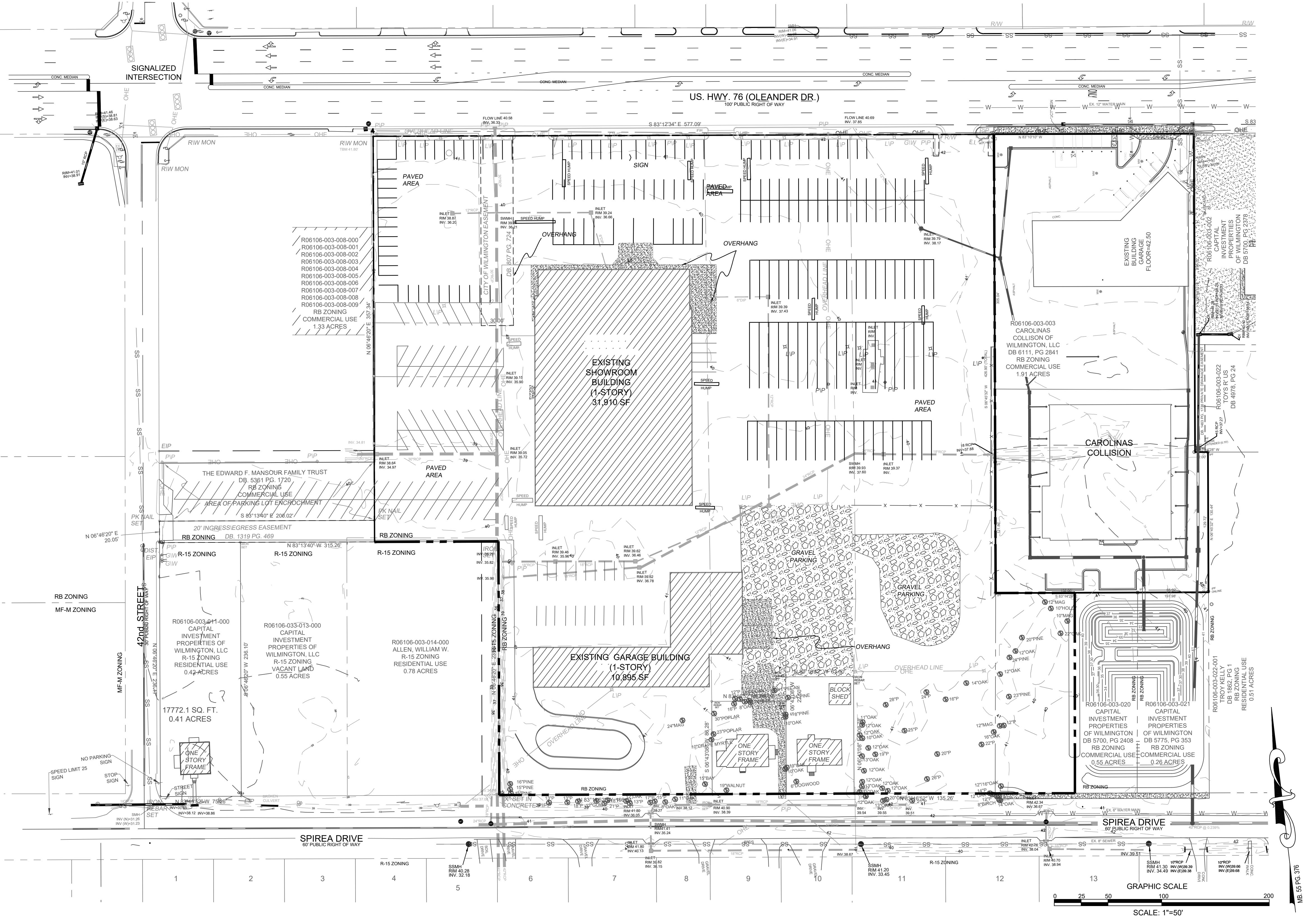
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT #: _____ GPD
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____ GPD
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Approved Construction Plan

Name	Date
Planning	_____
Traffic	_____
Fire	_____

SITE INFORMATION
 OWNER INFORMATION: CAPITAL INVESTMENT PROPERTIES OF WILMINGTON, LLC
 PROJECT ADDRESS: 4222 OLEANDER DRIVE WILMINGTON, NC 28403
 4305 AND 4303 SPIREA DRIVE WILMINGTON, NC 28403
 PARCEL IDENTIFICATION #: R06106-003-101-001, R06106-003-008-001, R06106-003-007-000, R06106-003-009-000, R06106-003-006-000, R06106-003-017-000, R06106-003-018-000, R06106-003-024-000, R06106-003-023-000, R06106-003-019-000, R06106-003-019-000
 CURRENT ZONING: CB - COMMUNITY BUSINESS (ALL PARCELS, EXCEPT AS NOTED BELOW)
 EXISTING USE: AUTOMOBILE AND TRUCK DEALER VACANT LAND
 TOTAL SITE AREA: 340,716 SF (7.82 ACRES)
 FLOOD INFORMATION: THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3138, MAP NUMBER 3720313600K, DATED AUGUST 28, 2018.
 CAMA LAND USE CLASSIFICATION: URBAN



REVISIONS: 3/4/19
 RESPONSE TO TRC COMMENTS

CLIENT INFORMATION:
 CAPITAL PROPERTIES OF WILMINGTON, LLC
 4900 LEIGH DRIVE
 RALEIGH, NORTH CAROLINA 27616

PARAMOUNT ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6766 (F)
 NC License # C-2846

SITE INVENTORY PARKING EXPANSION
 CAPITAL FORD OF WILMINGTON
 NEW HANOVER COUNTY
 WILMINGTON, NC

PROJECT STATUS:
 CONCEPT LAYOUT:
 FINAL DESIGN LAYOUT:
 RELEASED FOR CONSTRUCTION

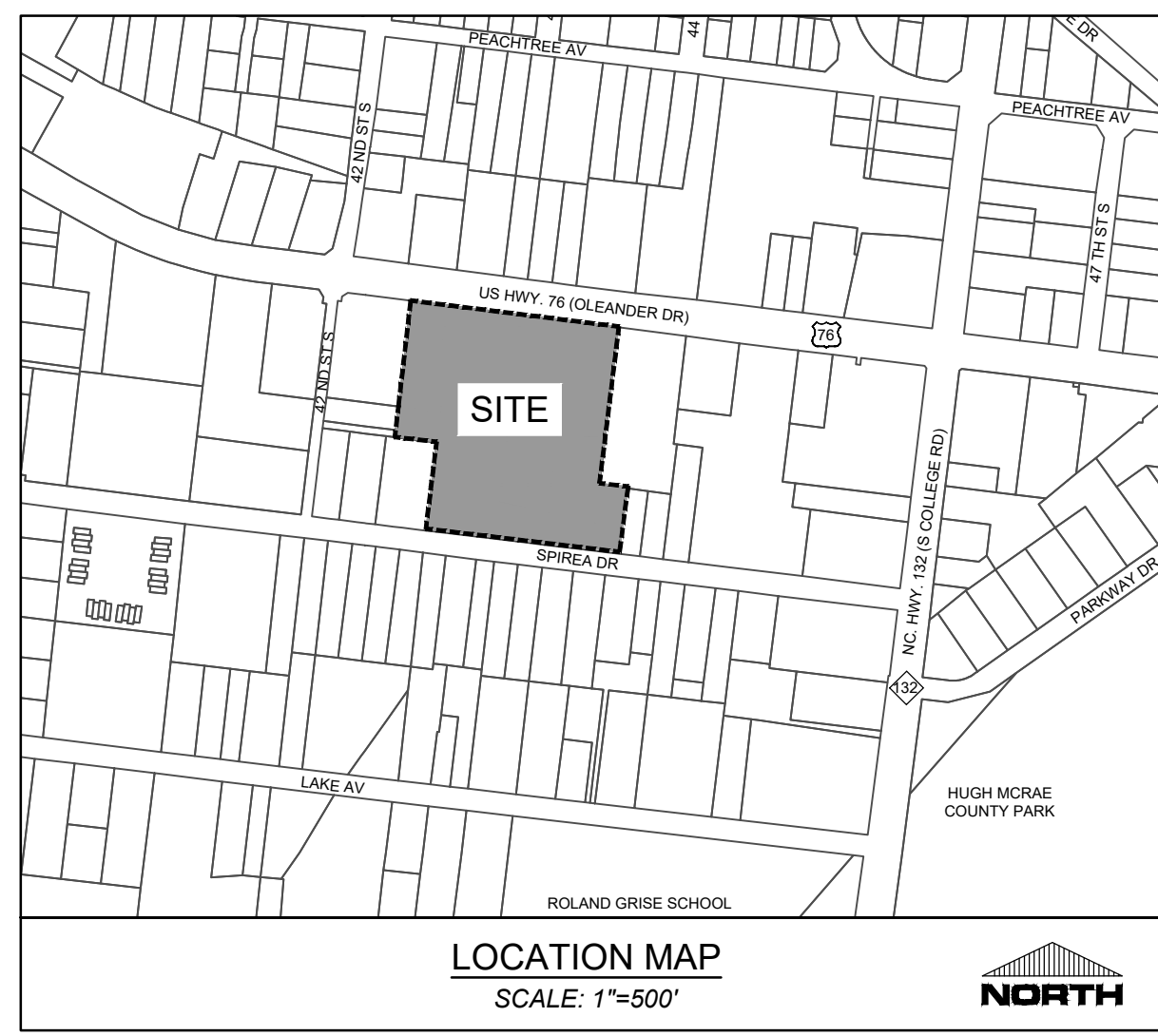
DRAWING INFORMATION:
 DATE: 10/3/2018
 SCALE: 1"=50'
 DRAWN BY: MM
 CHECKED: JRB

SEAL

C-1.1

PEI JOB#: 17410.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



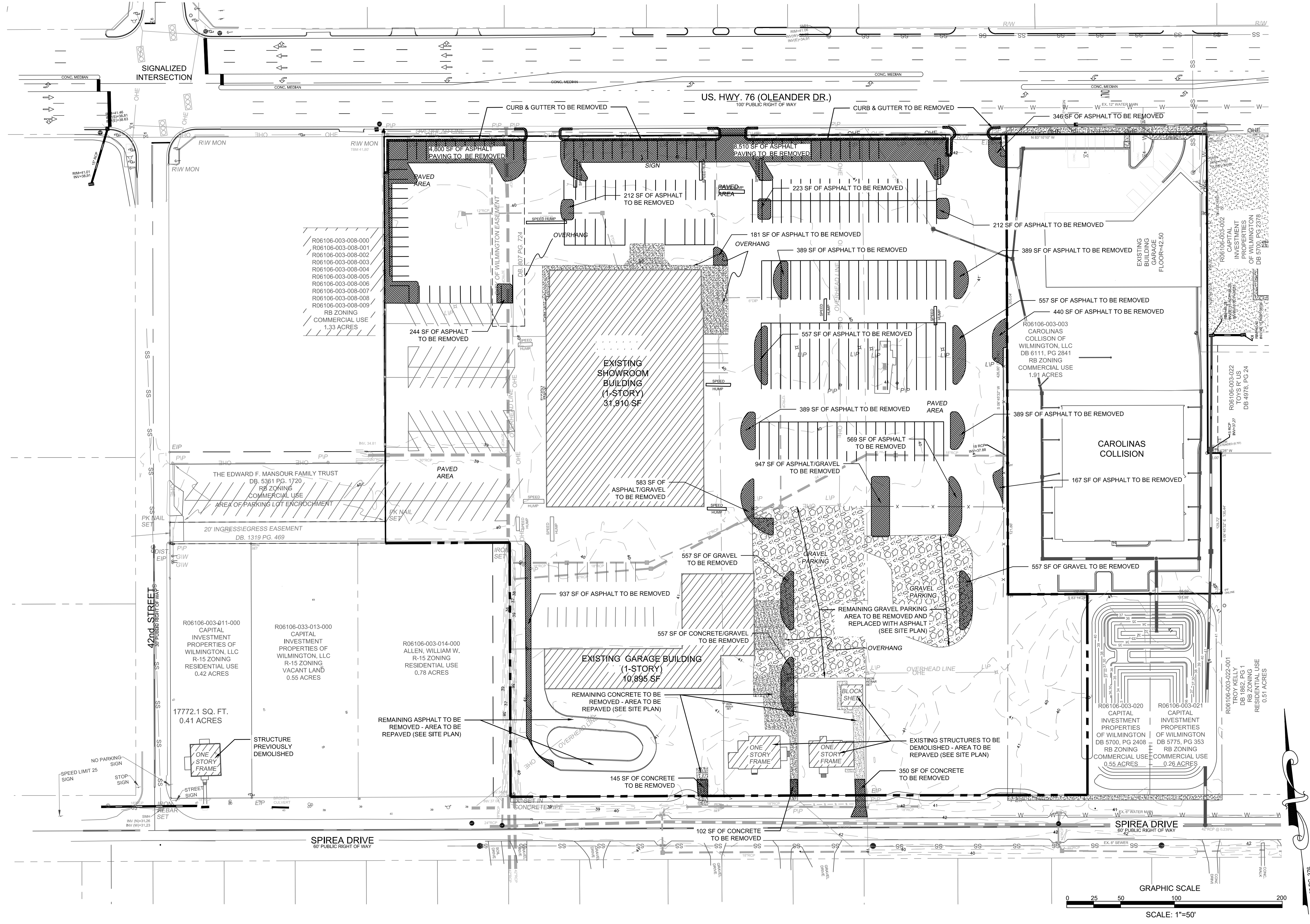
CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name	Date
Planning	_____
Traffic	_____
Fire	_____



REVISIONS:

1. RESPONSE TO TRC COMMENTS	3/4/19
2. REVISED LAYOUT	8/20/19

CLIENT INFORMATION:
CAPITAL PROPERTIES OF WILMINGTON, LLC
4900 LEIGH DRIVE
RALEIGH, NORTH CAROLINA 27616

PARAMOUNT ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6700 (F)
NC License #: C-2846

DEMOLITION PLAN
PARKING EXPANSION
CAPITAL FORD OF WILMINGTON
NEW HANOVER COUNTY
WILMINGTON, NC

PROJECT STATUS

CONCEPT LAYOUT	_____
FINAL DESIGN LAYOUT	_____
RELEASED FOR CONSTRUCTION	_____

DRAWING INFORMATION

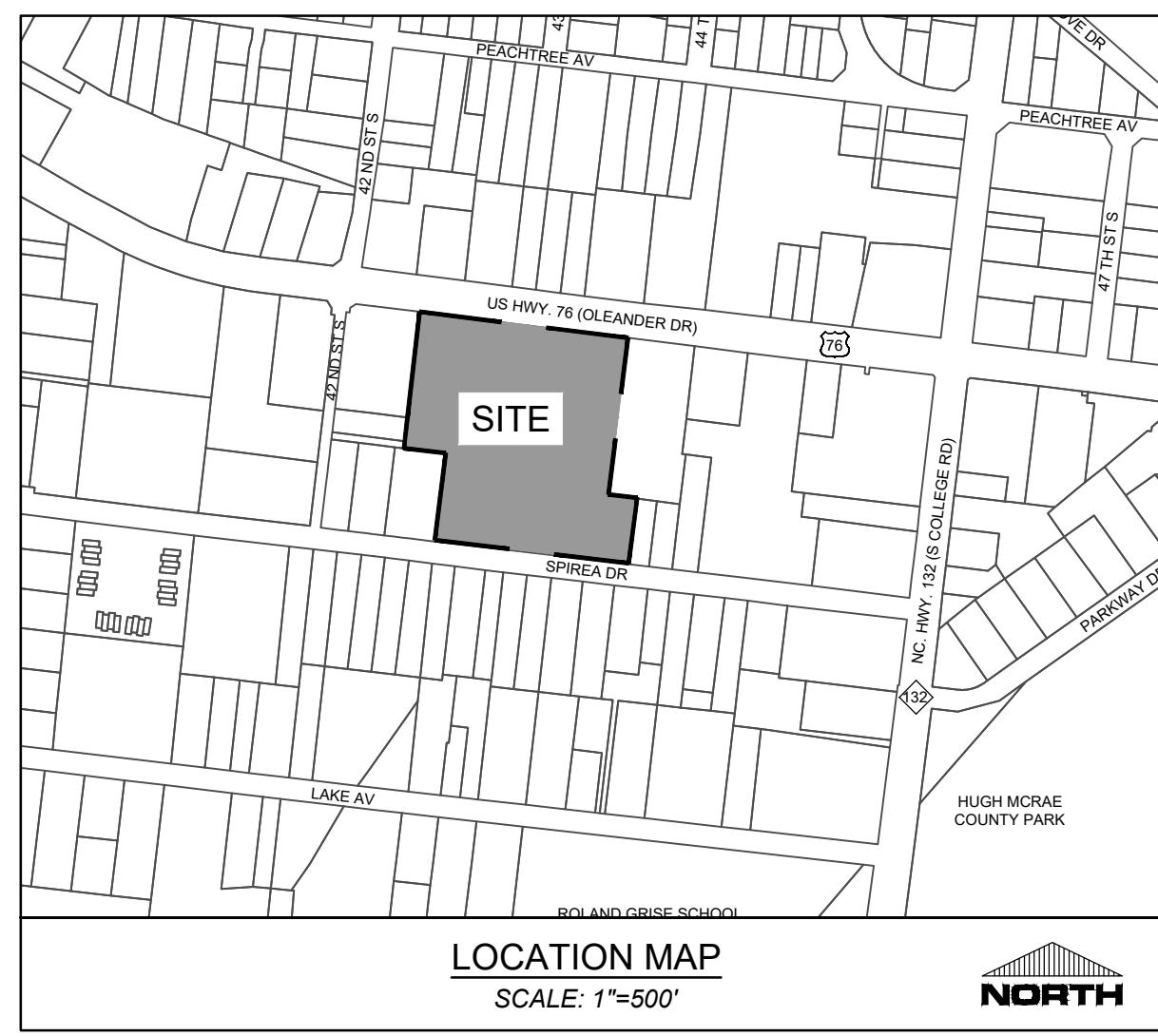
DATE:	10/3/2019
SCALE:	1"=50'
DRAWN BY:	MM
CHECKED:	JRB

SEAL

C-1.2

PEI JOB#: 17410.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



SITE INFORMATION
OWNER INFORMATION: CAPITAL INVESTMENT PROPERTIES OF WILMINGTON, LLC
PROJECT ADDRESS: 4222 OLEANDER DRIVE WILMINGTON, NC 28403
 4305 AND 4303 SPIREA DRIVE WILMINGTON, NC 28403
PARCEL IDENTIFICATION #: R06106-003-101-001, R06106-003-008-001, R06106-003-007-000, R06106-003-009-000, R06106-003-006-000, R06106-003-017-000, R06106-003-018-000, R06106-003-024-000, R06106-003-023-000, R06106-003-019-000, R06106-003-019-000
CURRENT ZONING: RB - REGIONAL BUSINESS (ALL PARCELS)
EXISTING USE: AUTOMOBILE AND TRUCK DEALER
TOTAL PROJECT SITE AREA: 340,716 +/- SF (7.82 +/- ACRES)

PERCENT BUILDING COVERAGE:
 TOTAL BUILDINGS FOOTPRINT (SF) 42,805
 TOTAL SITE AREA = 340,716
 BUILDING COVERAGE PERCENT = 12.56%
FLOOD INFORMATION: THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3138, MAP NUMBER 3720313600K, DATED AUGUST 28, 2018.

CAMA LAND USE CLASSIFICATION: URBAN
DIMENSIONAL REQUIREMENTS
 RB - REGIONAL BUSINESS
 - MINIMUM LOT AREA: 1 ACRE
 - MINIMUM LOT WIDTH: 100'
 - MAXIMUM LOT COVERAGE: 40%
 - MINIMUM FRONT SETBACK: 25'
 - MINIMUM REAR SETBACK: 15', 25' WHEN ABUTTING RESIDENTIAL
 - MINIMUM INTERIOR SIDE SETBACK: 0', 20' WHEN ABUTTING RESIDENTIAL
 - MINIMUM CORNER LOT SIDE SETBACK: 25'
 - MAXIMUM BUILDING HEIGHT: 35'+
EXISTING BUILDING SETBACKS
 FRONT SETBACK: 124.6' (EXISTING STRUCTURE)
 SIDE SETBACK: 32' (EXISTING STRUCTURE)

BUILDING INFORMATION
CONSTRUCTION TYPE: TYPE B - BUSINESS (AUTO SHOW ROOM)
(AUTOMOBILE SERVICING)
 NUMBER OF PROPOSED BUILDINGS: N/A (2 EXISTING BUILDING TO REMAIN)
 PROPOSED BUILDING SFG: N/A (2 EXISTING BUILDINGS, 42,805 SF TOTAL)
 MAX. HEIGHT: 18' - 6"
 LOT COVERAGE: 12.56% (EXISTING)
EXISTING SEWER USAGE: 120 GAL / 1,000 SF X 42.8 = 5,136 GPD
EXISTING WATER USAGE: 5,136 X 1.15 = 5,906 GPD
PROPOSED SEWER USAGE: N/A (NO CHANGES PROPOSED)
PROPOSED WATER USAGE: N/A (NO CHANGES PROPOSED)

LANDSCAPE CALCULATIONS
 SEE SHEET L-1.0 LANDSCAPE PLAN FOR CALCULATIONS.

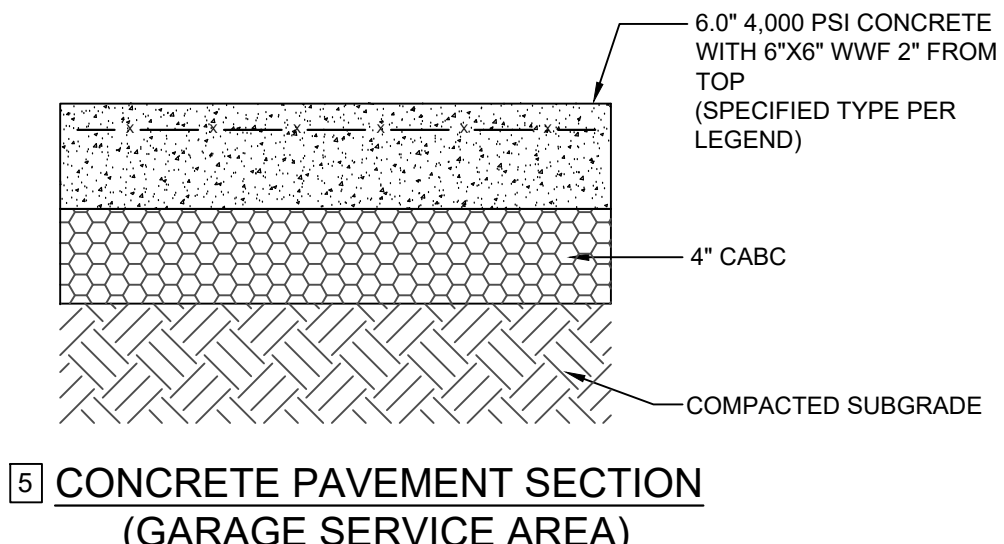
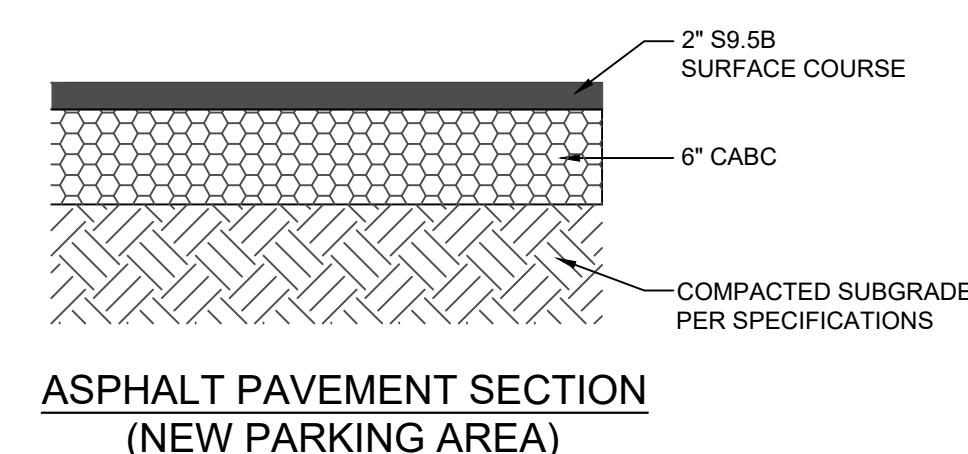
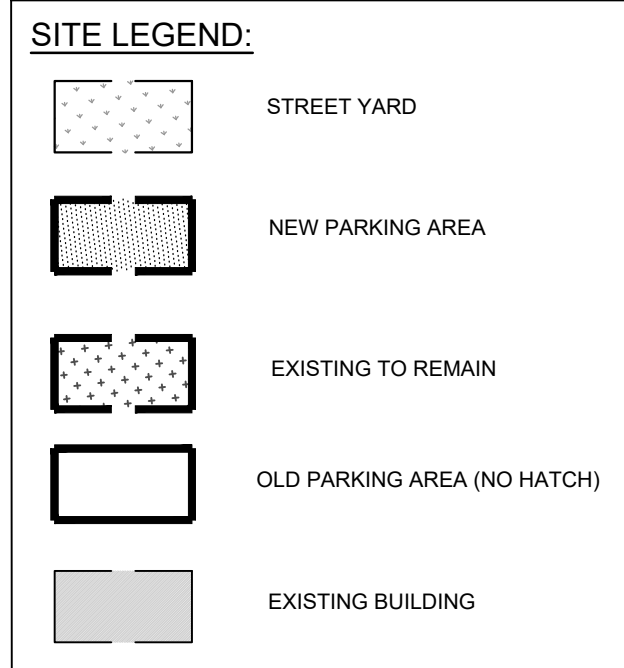
- KEY NOTES:**
- 1 VERTICAL CURB: CITY STANDARD DETAIL SD 3-11
 - 2 ASPHALT PAVING: REFER TO DETAIL
 - 3 ACCESSIBLE PARKING SIGN: PER A.D.A. STANDARDS
 - 4 ACCESSIBLE PARKING SPACE: PER A.D.A. STANDARDS
 - 5 CONCRETE PAVING: REFER TO DETAIL
 - 6 ACCESSIBLE PARKING UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN.
 - 7 STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS).
 - 8 CITY OF WILMINGTON SIGHT DISTANCE TRIANGLE: CITY OF WILMINGTON 20'X70' SIGHT TRIANGLE
 - 9 OMIT:
 - 10 BICYCLE RACK
 - 11 ACCESSIBLE ROUTE OF TRAVEL: PER A.D.A. STANDARDS
 - 12 EXISTING 6' HIGH CHAIN LINK FENCE: TO REMAIN OR BE REPLACED, WHERE OCCURS (HIDDEN BY EXISTING FENCE / VEGETATION)
 - 13 EXISTING DUMPSTER LOCATION: 15' X 24' DUMPSTER PAD WITH SCREENING FENCING TO 8' TALL - LANDSCAPING AT EDGE OF PARKING PROVIDES 8' MINIMUM SCREENING OF TRASH COLLECTION FACILITIES
 - 14 UNLOADING AREA: SHOWN FOR REFERENCE ONLY

IMPERVIOUS INFORMATION

- TOTAL EXISTING IMPERVIOUS AREA: 269,534 SF
- NEW IMPERVIOUS AREA: 43,278 SF (CAPITAL FORD BASIN) 8,581 SF (CAROLINAS COLLISION BASIN)
- EXISTING IMPERVIOUS AREA TO BE REMOVED AND NOT REPLACED: 23,559 SF
- NET NEW IMPERVIOUS AREA SUBJECT TO SWM: 19,719 SF (CAPITAL FORD BASIN) 8,581 SF (CAROLINAS COLLISION BASIN)
- TOTAL POST DEVELOPMENT IMPERVIOUS AREA: 297,834 / 340,716 = 87.4%

PROPOSED PERCENT IMPERVIOUS: 297,834 / 340,716 = 87.4%

SITE PARKING
 MINIMUM PARKING REQUIRED: 86 (1 PER 500 SF GFA AUTOMOBILE AND TRUCK DEALERS)
 MAXIMUM PARKING ALLOWABLE: N/A
 TOTAL PARKING PROVIDED: 86 SPACES (EXISTING TO REMAIN) 506 SPACES (ADDITIONAL VEHICULAR INVENTORY)
 HANDICAP PARKING REQUIRED: 4 SPACES (BASED ON 86 REQUIRED PARKING)
 HANDICAP PARKING PROVIDED: 4 SPACES
 BICYCLE PARKING REQUIRED: 10 (BASED ON 86 REQUIRED PARKING)
 BICYCLE PARKING PROVIDED: 10



NCDCNR PWSS WATER PERMIT #: _____ GPD
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____ GPD
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Approved Construction Plan

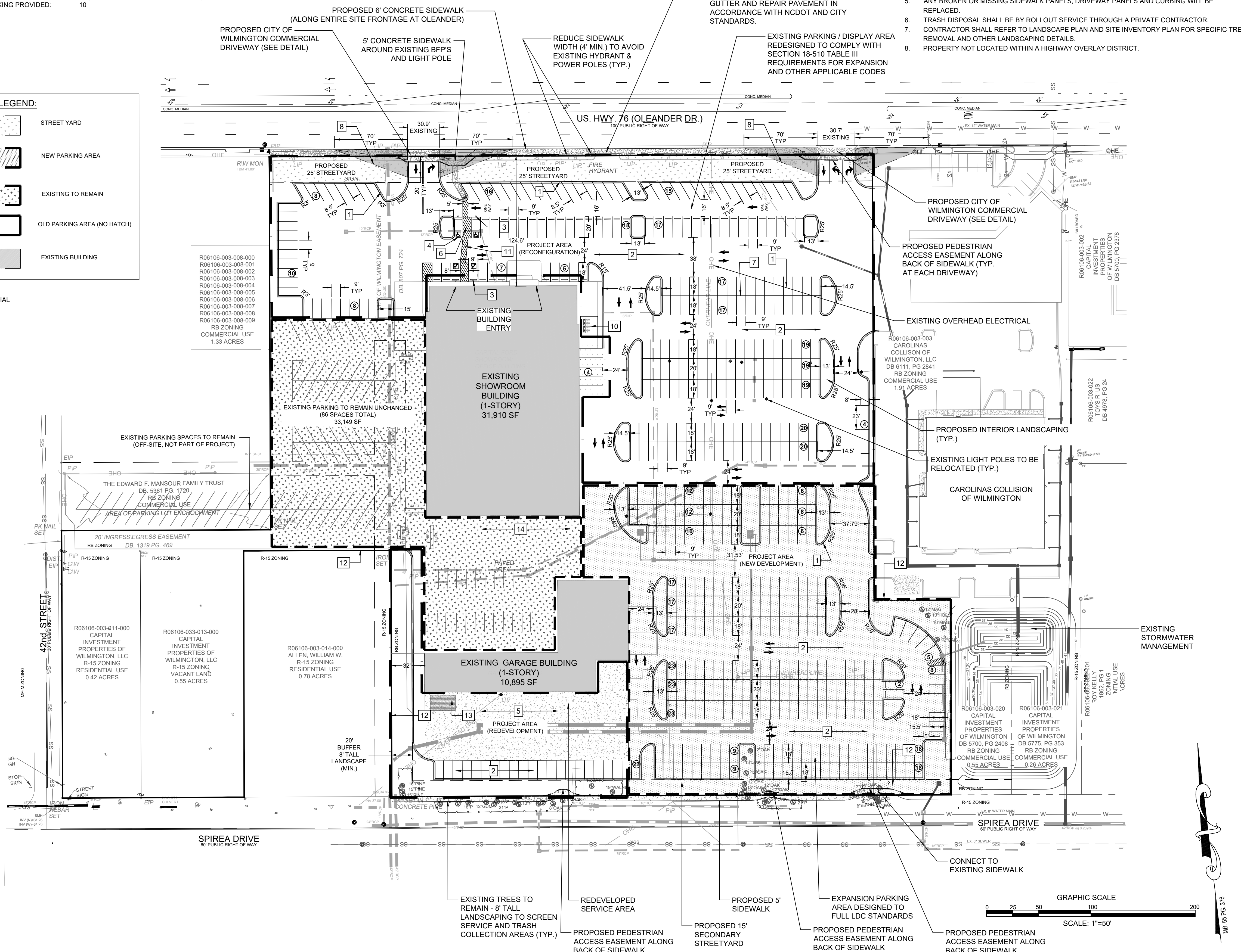
Name	Date
Planning	
Traffic	
Fire	

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
 Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

- GENERAL NOTES:**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/ OR NCDOT STANDARDS.
 - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 - TRASH DISPOSAL SHALL BE BY ROLLOUT SERVICE THROUGH A PRIVATE CONTRACTOR.
 - CONTRACTOR SHALL REFER TO LANDSCAPE PLAN AND SITE INVENTORY PLAN FOR SPECIFIC TREE REMOVAL AND OTHER LANDSCAPING DETAILS.
 - PROPERTY NOT LOCATED WITHIN A HIGHWAY OVERLAY DISTRICT.



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

NO.	DATE	DESCRIPTION
1.	3/4/19	RESPONSE TO TRC COMMENTS
2.	8/20/19	REVISED LAYOUT

CLIENT INFORMATION:
 CAPITAL PROPERTIES OF WILMINGTON, LLC
 4900 LEIGH DRIVE
 RALEIGH, NORTH CAROLINA 27616

PARAMOUNT ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6766 (F)
 NC License # C-25846

SITE PLAN
PARKING EXPANSION
 CAPITAL FORD OF WILMINGTON
 NEW HANOVER COUNTY
 WILMINGTON, NC

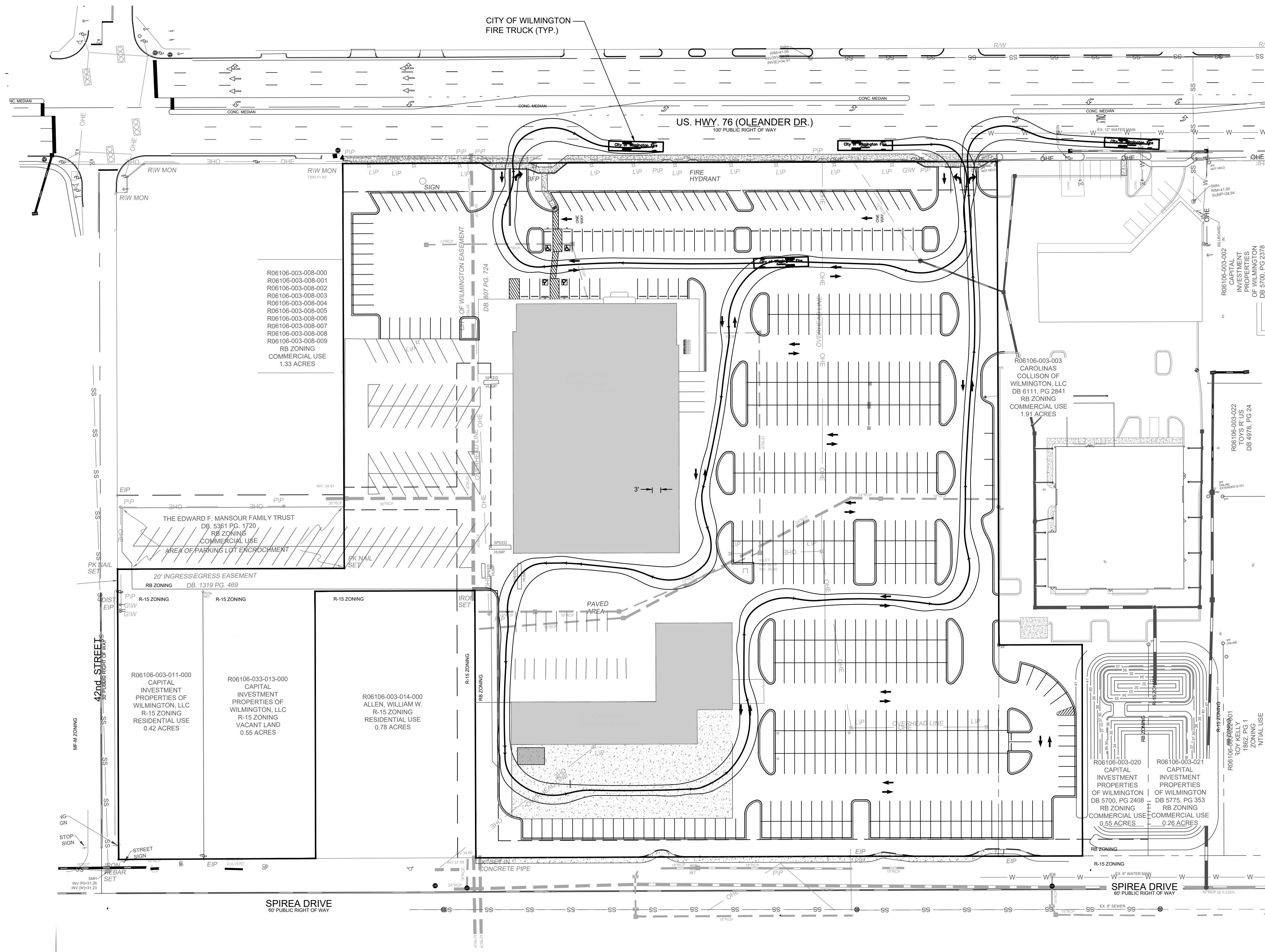
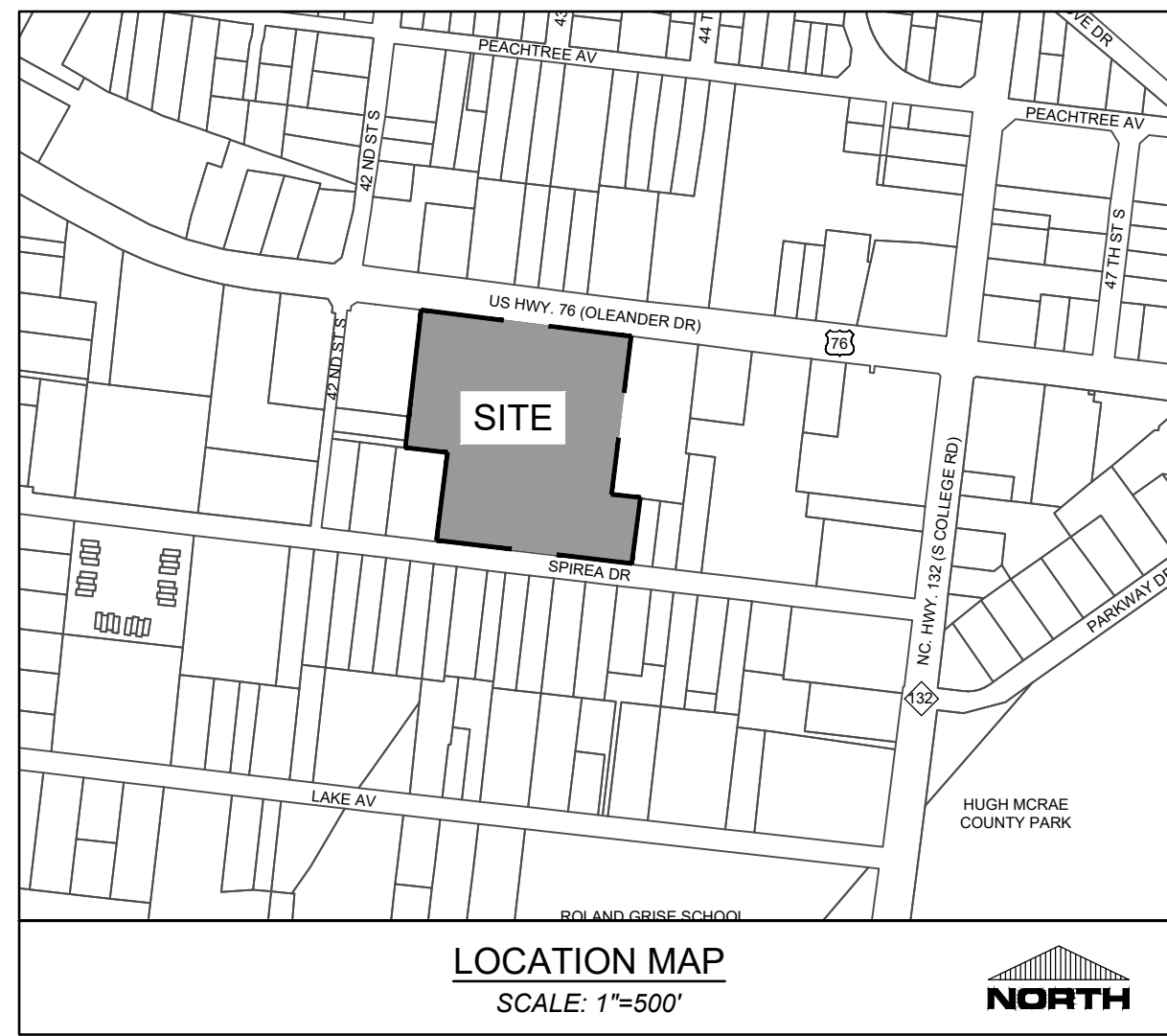
PROJECT STATUS:
 CONCEPTUAL LAYOUT:
 FINAL DESIGN LAYOUT:
 RELEASED FOR CONSTRUCTION:

DRAWING INFORMATION:
 DATE: 10/03/2019
 SCALE: 1"=50'
 DRAWN BY: JRF/ACM/RRP
 CHECKED: _____

SEAL

C-2.0

PEI JOB#: 17410.PE



NCDENR PWSS WATER PERMIT #:	_____ GPD
WATER CAPACITY:	_____ GPD
DWQ SEWER PERMIT #:	_____ GPD
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLANT:	_____
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

Approved Construction Plan	
Name	Date
Planning	_____
Traffic	_____
Fire	_____

Signed:	_____
Date:	_____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

REVISIONS:	3/4/19
1. RESPONSE TO TRC COMMENTS	8/20/19
2. REVISED LAYOUT	

CLIENT INFORMATION:
 CAPITAL PROPERTIES OF WILMINGTON, LLC
 4900 LEIGH DRIVE
 RALEIGH, NORTH CAROLINA 27616

PARAMOUNT ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6700 (F)
 NC License #: C-2846

AutoTURN Figure
PARKING EXPANSION
 CAPITAL FORD OF WILMINGTON
 NEW HANOVER COUNTY
 WILMINGTON, NC

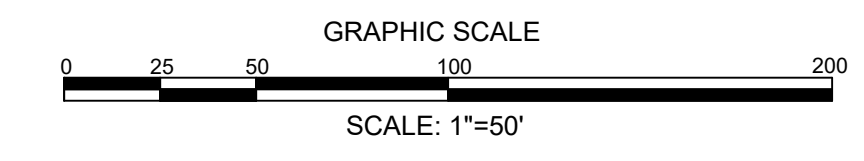
PROJECT STATUS	10/3/2018
PRELIMINARY LAYOUT:	11-167
RELEASED FOR CONSTRUCTION:	JRC/ACM/RBP
DRAWING INFORMATION	
DATE:	10/3/2018
SCALE:	11-167
DRAWN:	JRC/ACM/RBP
CHECKED:	

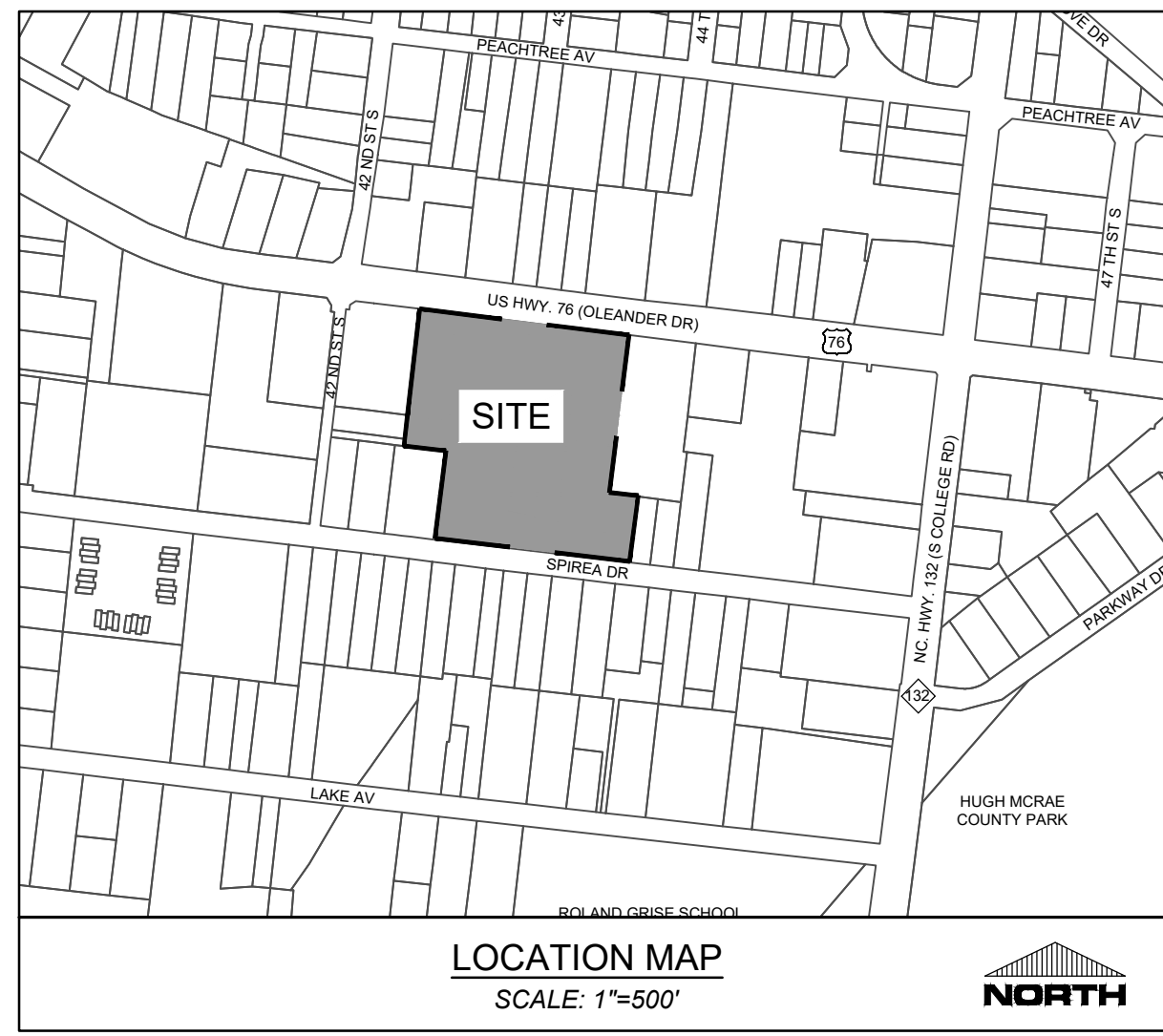
SEAL

C-2.1

PEI JOB#: 17410.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION





NCDENR PWSS WATER PERMIT #: _____ GPD
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____ GPD
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

REVISIONS:

1. RESPONSE TO TRC COMMENTS	3/4/19
2. REVISED LAYOUT	8/20/19

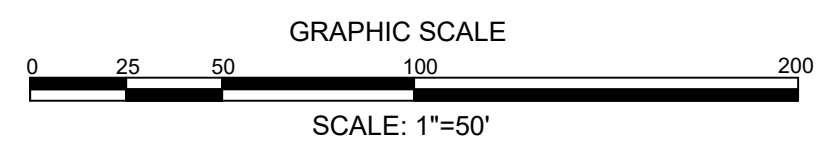
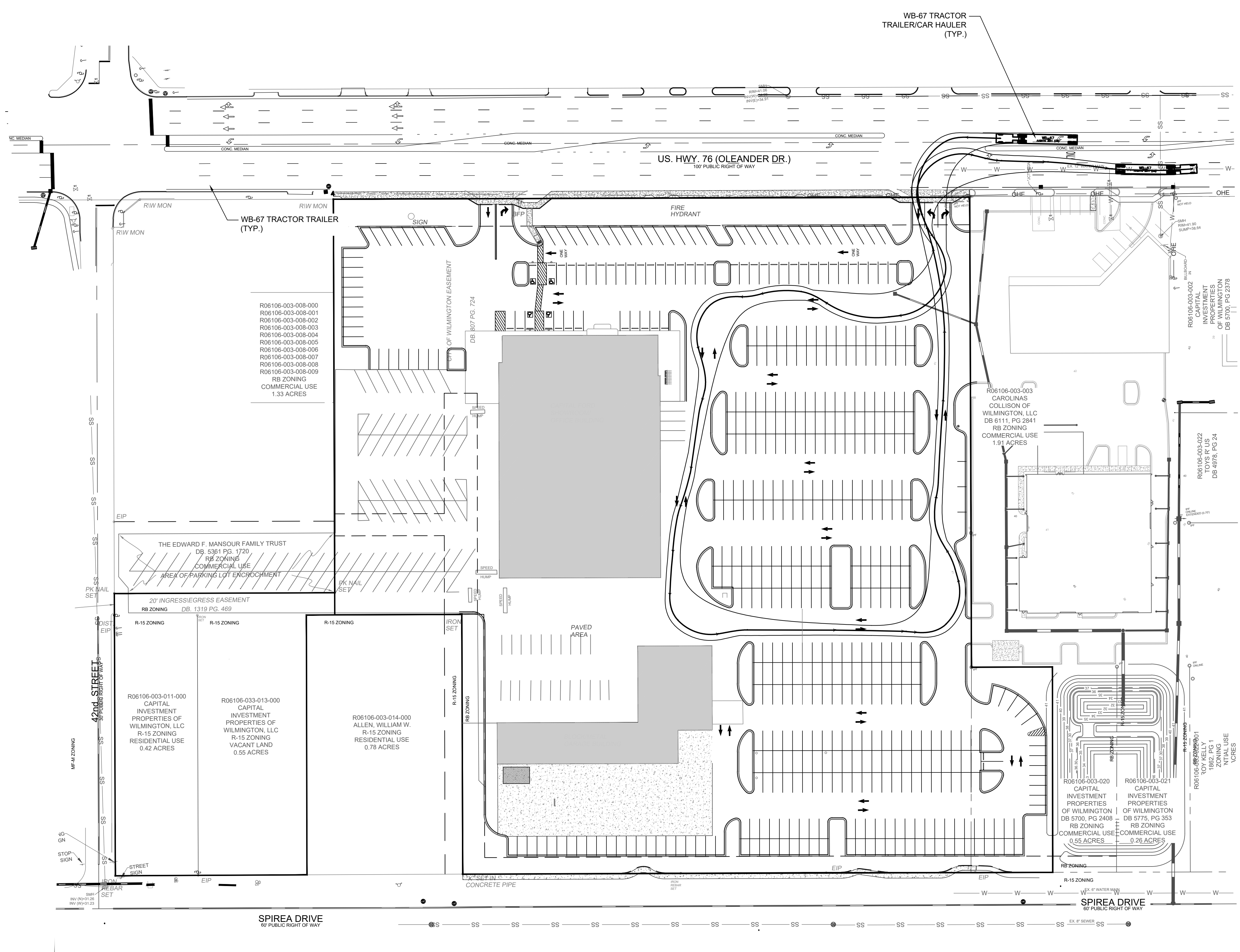
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 4900 LEIGH DRIVE
 RALEIGH, NORTH CAROLINA 27616

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 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

AutoTURN Figure
 PARKING EXPANSION
 CAPITAL FORD OF WILMINGTON
 NEW HANOVER COUNTY
 WILMINGTON, NC

PROJECT STATUS
 PRELIMINARY LAYOUT:
 FINAL DESIGN:
 RELEASED FOR CONSTRUCTION:
 DRAWING INFORMATION
 DATE: 10/3/2019
 SCALE: 1"=50'
 DRAWN: JRC/AMW
 CHECKED: RPB

SEAL
 SCALE: 1"=50'
C-2.2
 PEI JOB#: 17410.PE

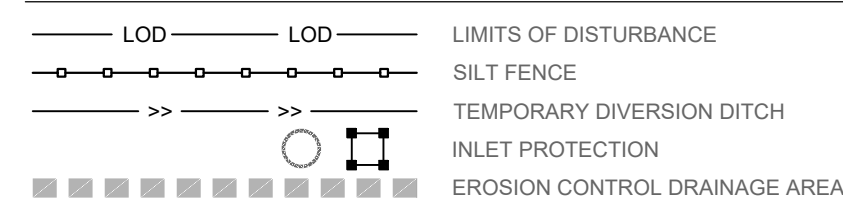


PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

EROSION CONTROL NOTES:

LIMITS OF DISTURBANCE = 3.07 ACRES

LEGEND:



NOTATION:

- CB = CATCH BASIN
- DCB = DOUBLE CATCH BASIN
- DI = DROP INLET
- DDI = DOUBLE DROP INLET
- YI = YARD INLET (2-SIDE OPEN THROAT)
- MH = STORM MANHOLE
- YD = YARD DRAIN
- RD* = ROOF DRAIN CONNECTION*
- *PROVIDE IN-LINE CLEANOUT AND CONNECTION TO DOWNSPOUT - SEE ARCHITECTURAL & PLUMBING PLANS FOR DOWNSPOUT CONNECTIONS.
- TC = TOP OF CURB ELEVATION
- BC = BOTTOM OF CURB (GUTTER) ELEVATION
- PG = PROPOSED GRADE
- HP = HIGH POINT ELEVATION
- FLUME = CONCRETE DRAINAGE FLUME FLOWLINE ELEVATION
- RP = RAMP
- PAD = DUMPSTER PAD ELEVATION

NOTES:

- 1) SEE GENERAL NOTES SHEET (C-1.0) FOR GRADING, DRAINAGE AND EROSION CONTROL NOTES AND DETAILS FOR MORE INFORMATION.
- 2) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NEW HANOVER COUNTY STANDARDS AND SPECIFICATIONS.
- 3) GEOTECHNICAL TESTING SHALL BE PERFORMED ON-SITE. A GEOTECHNICAL ENGINEER SHALL BE CONSULTED TO CONFIRM SUITABILITY OF SUBGRADE MATERIAL AND PROPER COMPACTION IN FILL AREAS.

ASPHALT AREA NOTE:

- 1) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

BUILDING PAD NOTE:

- 1) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

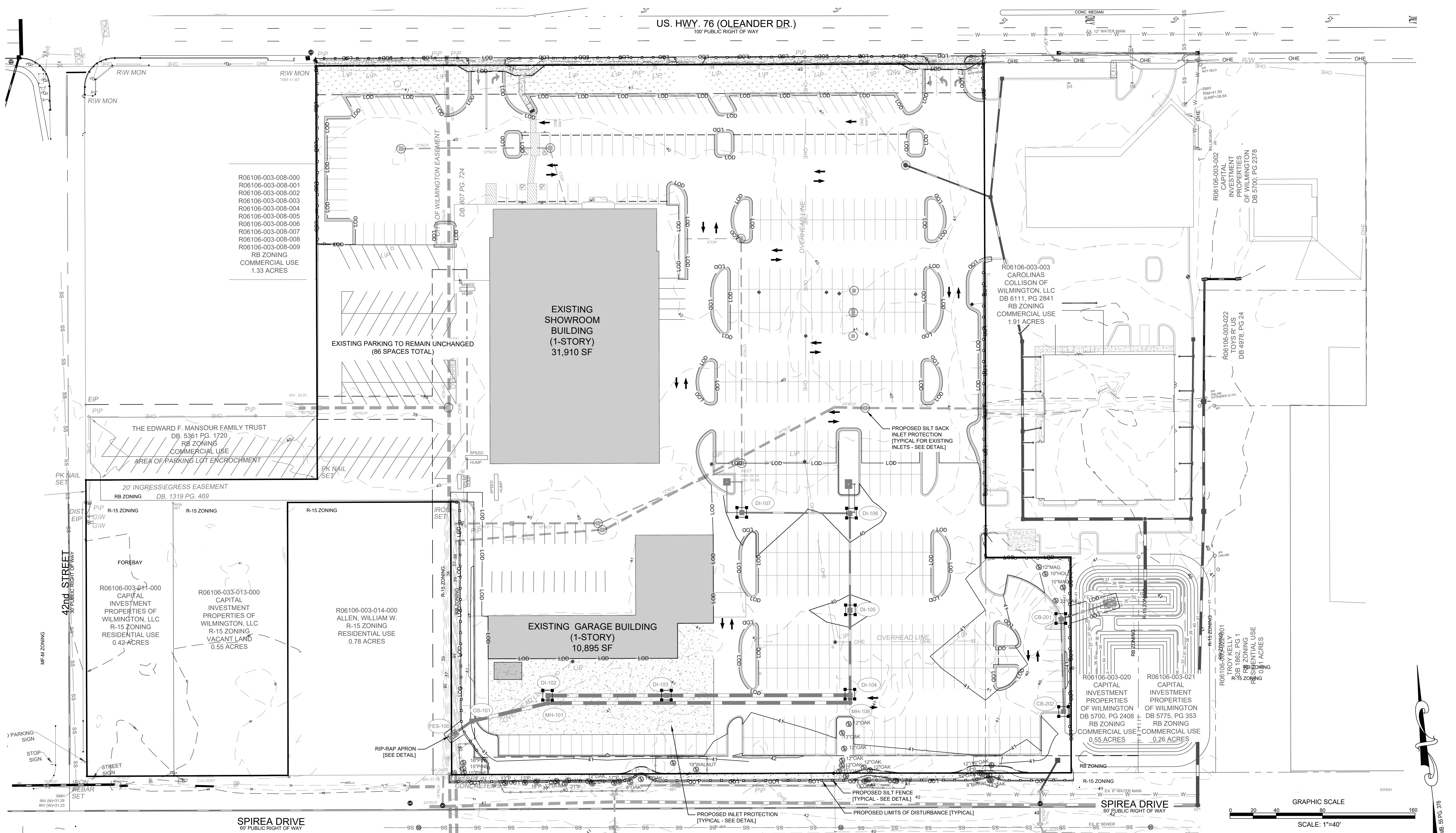
NCDENR PWSS WATER PERMIT #: _____ GPD
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____ GPD
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



REVISIONS:

NO.	DATE	DESCRIPTION
1	3/4/19	RESPONSE TO TRC COMMENTS
2	5/26/19	REVISED LAYOUT

CLIENT INFORMATION:
 CAPITAL PROPERTIES OF WILMINGTON, LLC
 4900 LEIGH DRIVE
 RALEIGH, NORTH CAROLINA 27616

PARAMOUNT ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6700 (F)
 N.C. License #: C-2846

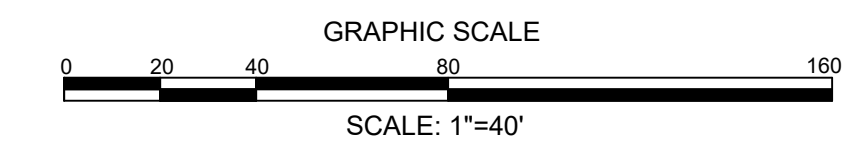
EROSION CONTROL PLAN
PARKING EXPANSION
 CAPITAL FORD OF WILMINGTON
 NEW HANOVER COUNTY
 WILMINGTON, NC

PROJECT STATUS:
 PRELIMINARY DESIGN
 FINAL DESIGN
 PRELIMINARY LAYOUT
 RELEASED FOR CONSTRUCTION

DRAWING INFORMATION:
 DATE: 06/19/19
 SCALE: 1"=40'
 DRAWN: JRC/AC
 CHECKED: RFP

PEI JOB#: 17410.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



STORM SCHEDULE:

Upstream Node	Downstream Node	Diameter (In)	Upstream Invert	Downstream Invert	Pipe Length (ft)	Slope (%)	Upstream Rim Elev	Downstream Rim Elev	Pipe Material
OS-101	FES-100	24	35.00	34.90	16	0.65	41.00	-	RCP III
MH-101	OS-101	36	35.07	35.00	68	0.10	40.06	41.00	RCP III
MH-108	MH-101	36	35.33	35.07	261	0.10	40.28	40.06	RCP III
DI-104	MH-108	36	35.34	35.33	6	0.14	40.15	40.28	RCP III
DI-102	MH-101	36	35.08	35.07	6	0.14	40.00	40.06	RCP III
DI-103	DI-102	36	35.18	35.08	103	0.10	40.00	40.00	RCP III
DI-104	DI-103	36	35.34	35.18	158	0.10	40.15	40.00	RCP III
DI-105	DI-104	24	35.41	35.34	74	0.10	39.75	40.15	RCP III
DI-106	DI-105	18	35.49	35.41	84	0.10	39.75	39.75	RCP III
DI-107	DI-106	15	35.96	35.49	93	0.50	39.50	39.75	RCP III
CB-201	FES-200	12	33.78	33.00	39	2.00	40.25	-	RCP III
CB-202	CB-201	12	35.38	33.78	80	2.00	40.30	40.25	RCP III

NOTES:

- SEE GENERAL NOTES SHEET (C-1.0) FOR GRADING, DRAINAGE AND EROSION CONTROL NOTES AND DETAILS FOR MORE INFORMATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NEW HANOVER COUNTY STANDARDS AND SPECIFICATIONS.
- GEOTECHNICAL TESTING SHALL BE PERFORMED ON-SITE. A GEOTECHNICAL ENGINEER SHALL BE CONSULTED TO CONFIRM SUITABILITY OF SUBGRADE MATERIAL AND PROPER COMPACTION IN FILL AREAS.

ASPHALT AREA NOTE:

- SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

BUILDING PAD NOTE:

- SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

DRAINAGE NOTES:

- DRAINAGE EASEMENT AND STORMWATER SYSTEM MAINTENANCE IS THE RESPONSIBILITY OF THE DEVELOPER OR HOA, INCLUDING PONDS, PIPES, AND INFILTRATION BASINS AND TRENCHES.
- ALL IMPERVIOUS MUST DRAIN TO THE DESIGNED STORMWATER SYSTEM, PER THE APPROVED PLANS.
- NO OBSTRUCTIONS ARE ALLOWED IN DRAINAGE EASEMENTS, INCLUDING FENCES.
- ALL STORM DRAINAGE STRUCTURES SHALL MEET NCDOT STANDARDS AND SPECIFICATIONS AND SHALL BE TRAFFIC RATED FOR H-20 LOADS AT A MINIMUM.
- ALL CATCH BASIN (CB) RIM ELEVATIONS AND YARD INLET (YI) THROAT ELEVATIONS ARE LISTED AS THE "GUTTER OF FLOWLINE ELEVATION" WITHIN THE CURB SECTION. THE CONTRACTOR SHALL MAINTAIN A UNIFORM EDGE OF PAVEMENT (EOP) WHEN PLACING THE CURB-LINE (SEE "CURB TRANSITION" DETAIL). FOR CATCH BASINS WITHIN A TRANSITION FROM 24" STANDARD CURB & GUTTER, THE RIM ELEVATION GIVEN IS 1" INCH BELOW EOP.
- MANHOLE RIM ELEVATION SHOWN ABOVE IS FLUSH WITH PROPOSED GRADE. CONTRACTOR SHALL PROVIDE 6" CLEARANCE ABOVE PROPOSED GRADE WHEN PLACED IN A GRASS/PERVIOUS AREA, AND A FLUSH CONDITION WITH PROPOSED PAVEMENT OR IMPERVIOUS COVER.
- PROPOSED BUILDINGS SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM.
- CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE WITHIN ASPHALT OVERLAY AREAS TO MATCH PROPOSED GRADES.
- THE CONTRACTOR SHALL USE EITHER RCP (CL. III UNLESS OTHERWISE NOTED) OR HDPE PIPE FOR THE STORM DRAINAGE SYSTEM. IF THE CONTRACTOR CHOOSES TO USE HDPE PIPE, IT SHALL BE ADS N-12 WT STORM PIPE OR APPROVED EQUAL, AND SHALL BE INSTALLED TO MANUFACTURER SPECIFICATIONS. IN ADDITION, THE CONTRACTOR SHALL BE SURE TO PROVIDE CONCRETE COLLARS AROUND EACH F.E.S. TO PREVENT FLOATATION IF HDPE PIPE IS CHOSEN.

NCDENR PWSS WATER PERMIT #: _____ GPD
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____ GPD
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

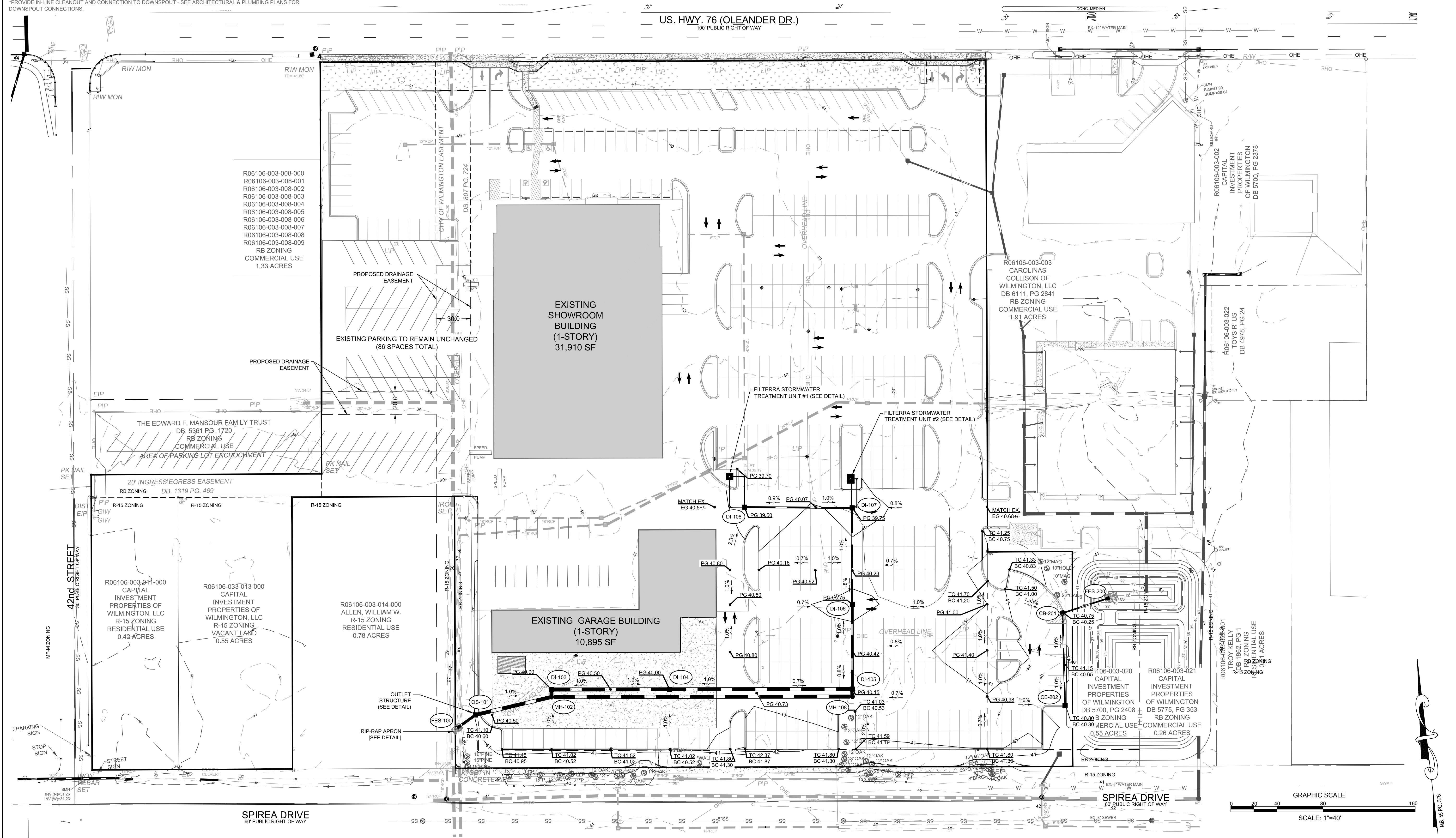
WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NOTATION:

- CB = CATCH BASIN
- DCB = DOUBLE CATCH BASIN
- DI = DROP INLET
- DDI = DOUBLE DROP INLET
- YI = YARD INLET (2-SIDE OPEN THROAT)
- MH = STORM MANHOLE
- YD = YARD DRAIN
- RD* = ROOF DRAIN CONNECTION*
- *PROVIDE IN-LINE CLEANOUT AND CONNECTION TO DOWNSPOUT - SEE ARCHITECTURAL & PLUMBING PLANS FOR DOWNSPOUT CONNECTIONS.
- TC = TOP OF CURB ELEVATION
- BC = BOTTOM OF CURB (GUTTER) ELEVATION
- PG = PROPOSED GRADE
- HP = HIGH POINT ELEVATION
- SW = SIDEWALK ELEVATION
- FLUME = CONCRETE DRAINAGE FLUME FLOWLINE ELEVATION
- RP = RAMP
- PAD = DUMPSTER PAD ELEVATION



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

GRADING & DRAINAGE PLAN
PARKING EXPANSION
 CAPITAL FORD OF WILMINGTON
 NEW HANOVER COUNTY
 WILMINGTON, NC

PROJECT STATUS
 PRELIMINARY DESIGN
 FINAL DESIGN
 RELEASED FOR CONSTRUCTION

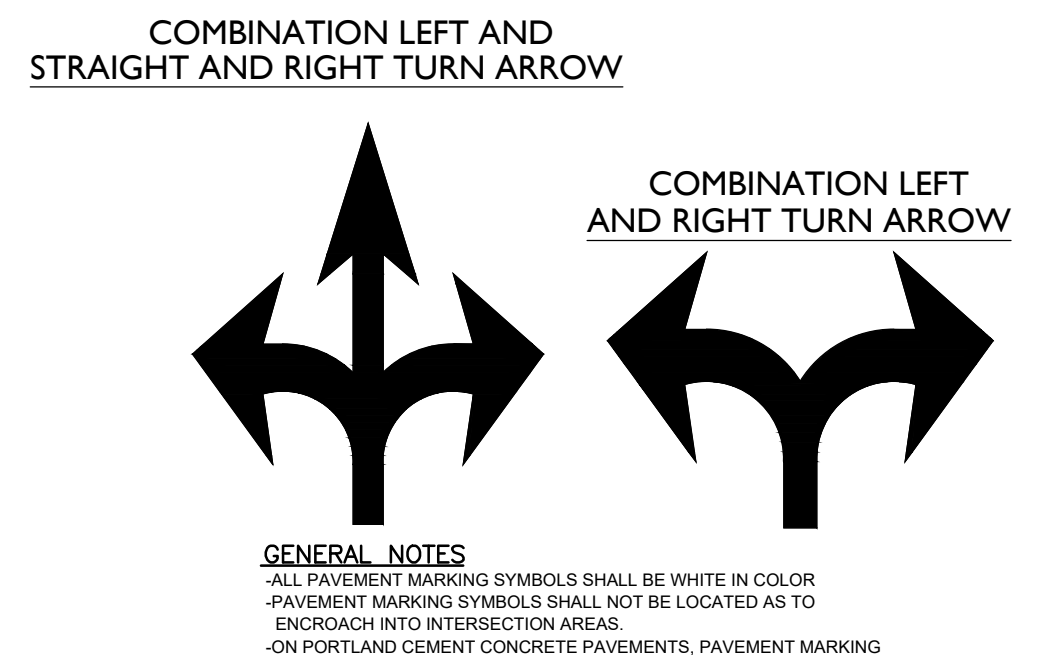
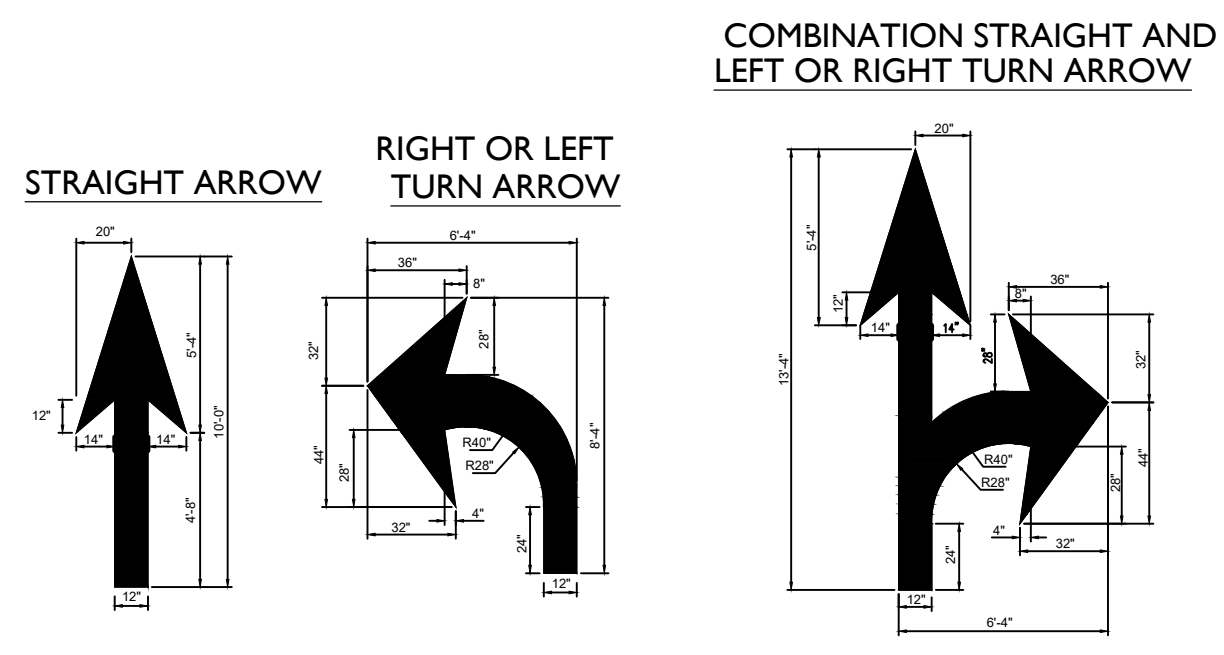
DRAWING INFORMATION
 DATE: 08/19/19
 SCALE: 1"=40'
 DRAWN: JPC/AC
 CHECKED: RBP

REVISIONS:
 1. RESPONSE TO TRC COMMENTS
 2. REVISED LAYOUT

CLIENT INFORMATION:
 CAPITAL PROPERTIES OF WILMINGTON, LLC
 4900 LEIGH DRIVE
 RALEIGH, NORTH CAROLINA 27616

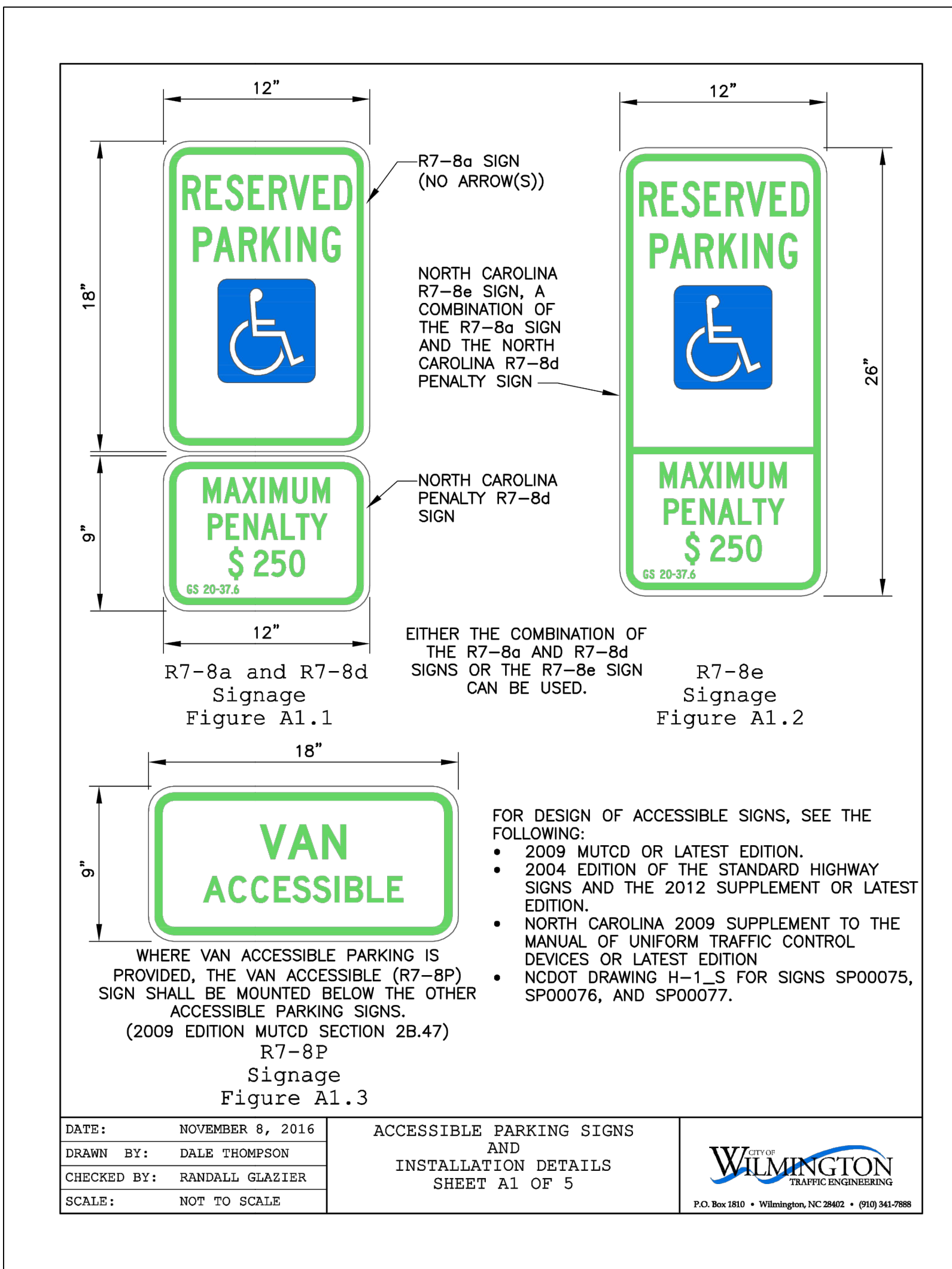
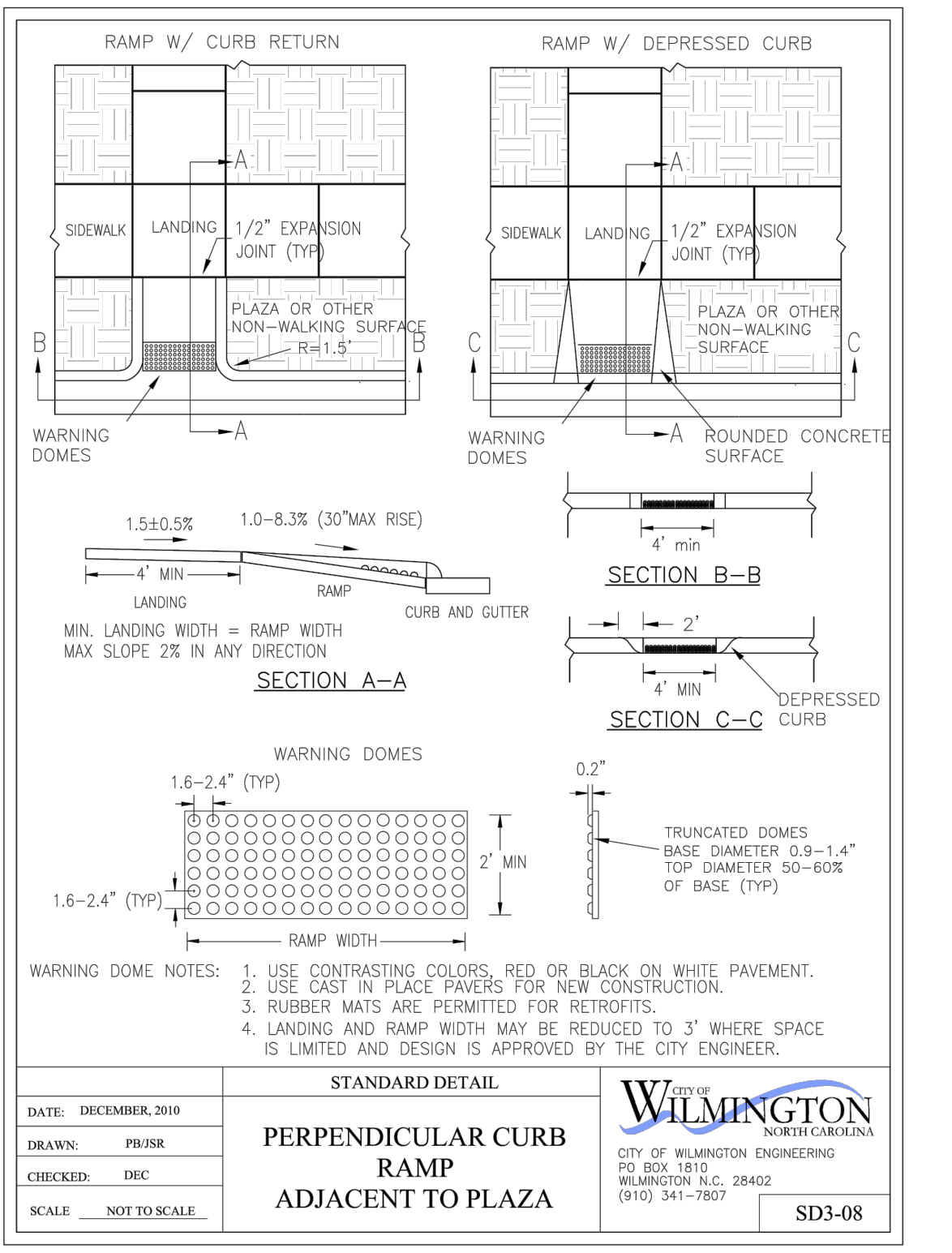
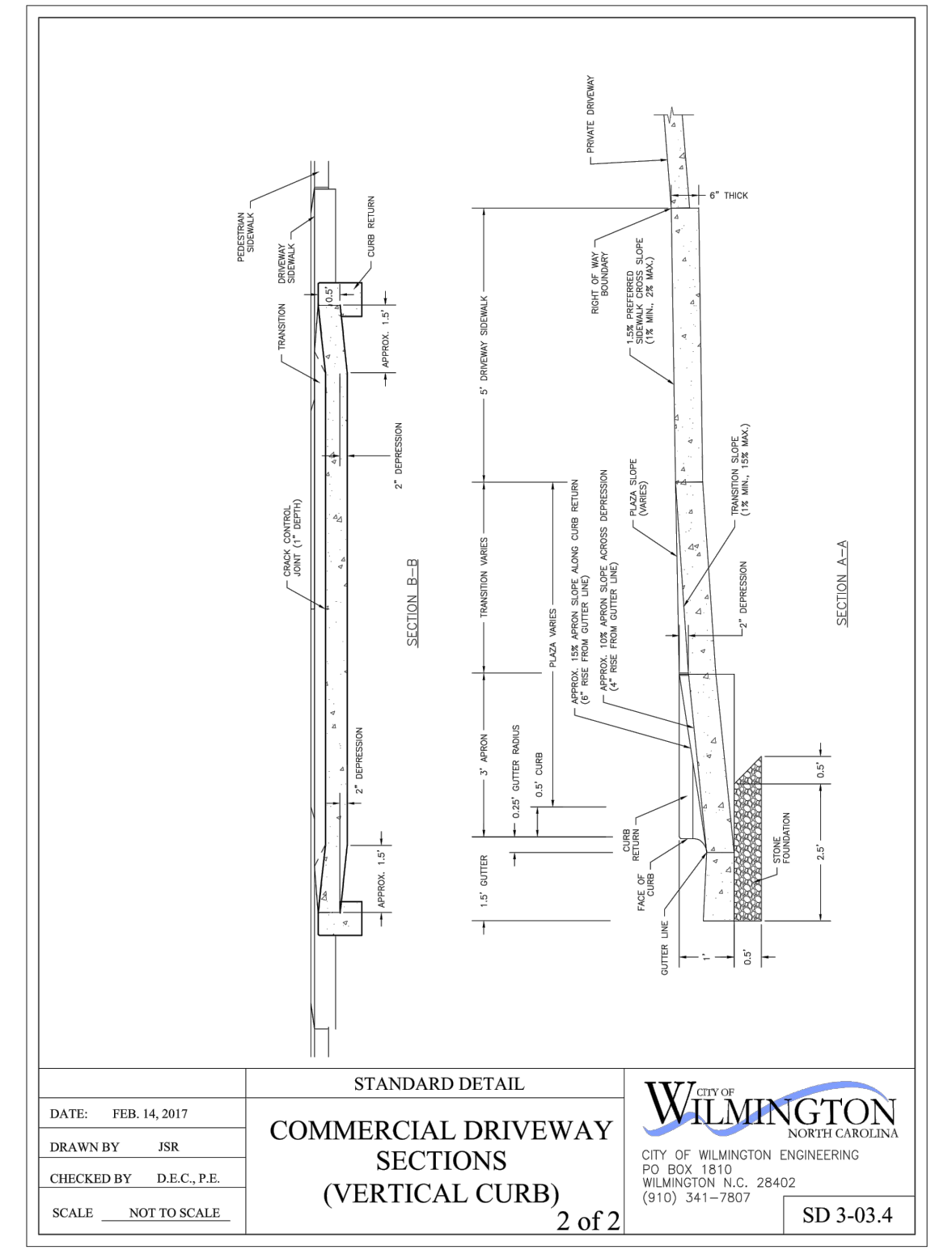
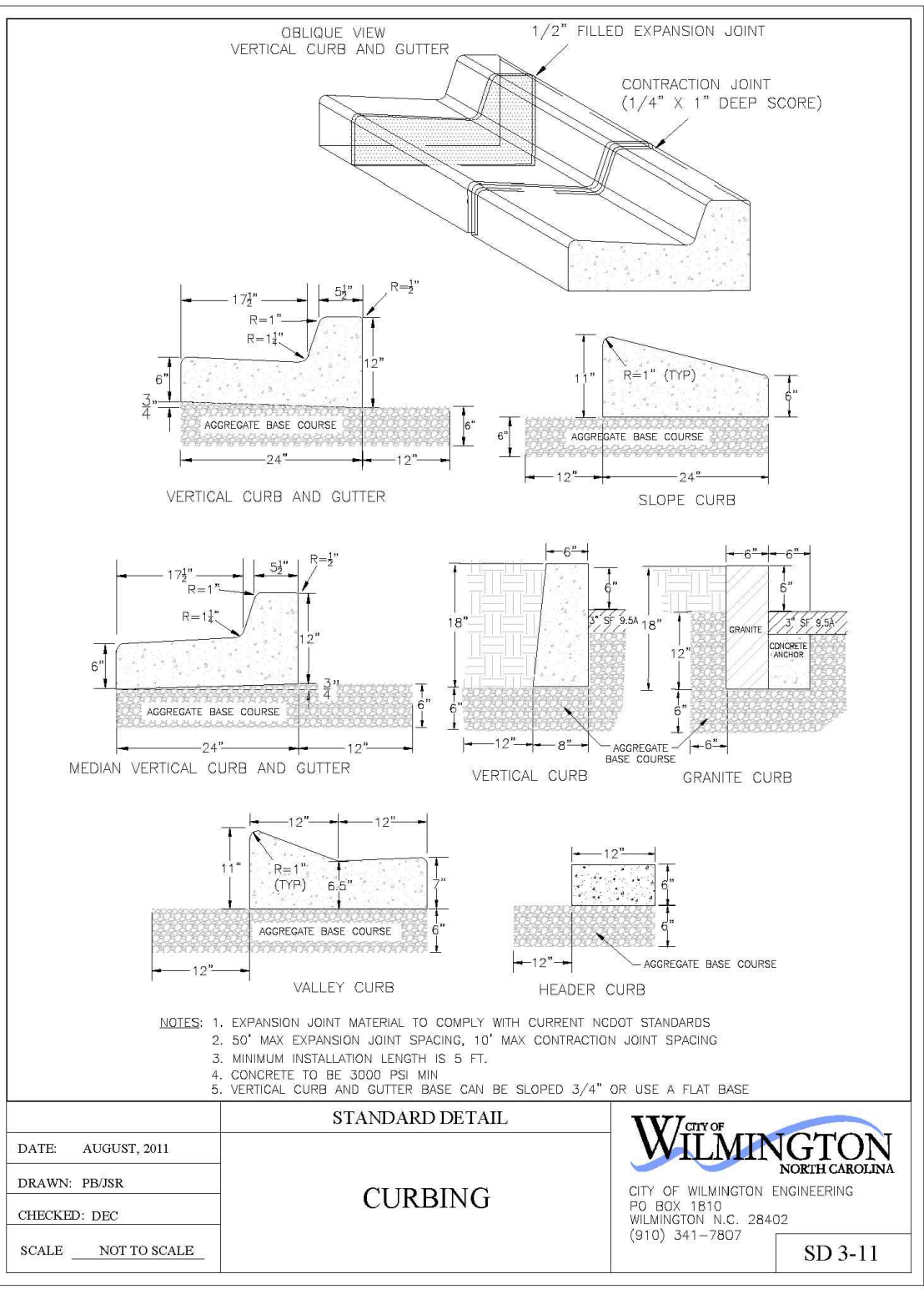
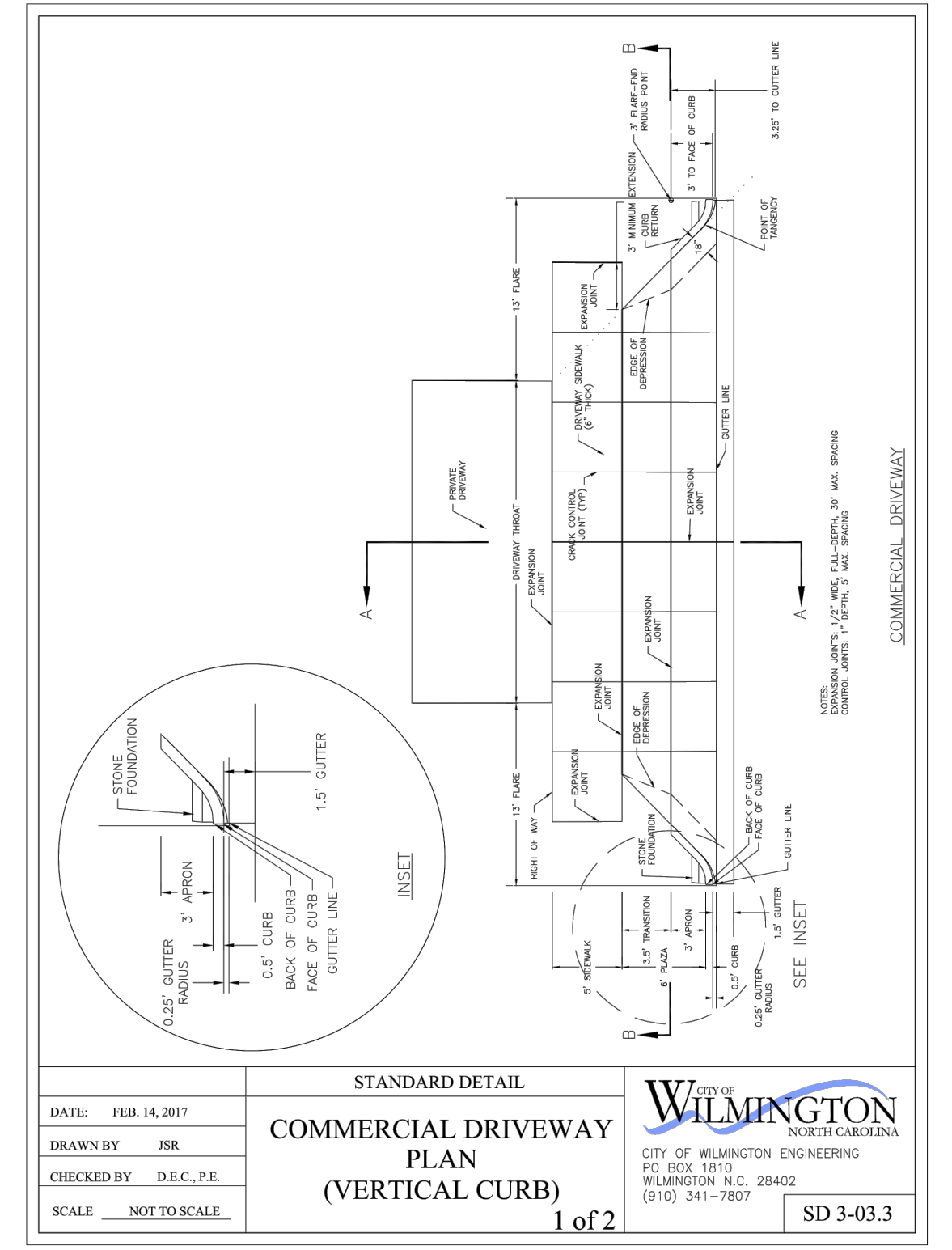
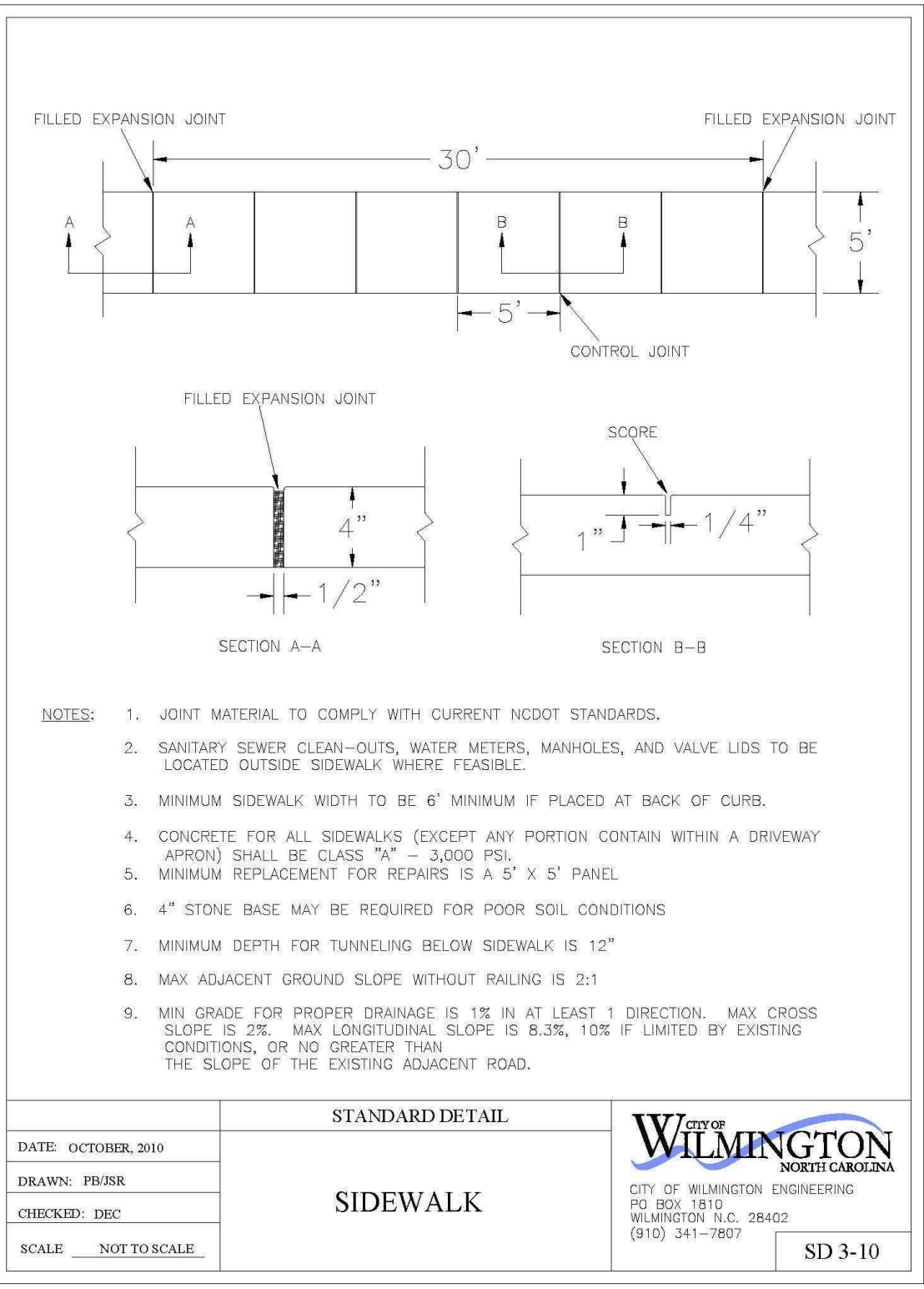
PARAMOUNT ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

PEI JOB#: 17410.PE



PAVEMENT MARKINGS
ARROW SYMBOLS
NOT TO SCALE

GENERAL NOTES
ALL PAVEMENT MARKING SYMBOLS SHALL BE WHITE IN COLOR.
PAVEMENT MARKING SYMBOLS SHALL NOT BE LOCATED AS TO ENDOUCH INTO INTERSECTION AREAS.
ON PORTLAND CEMENT CONCRETE PAVEMENTS, PAVEMENT MARKING SYMBOLS SHALL NOT BE PLACED ACROSS TRANSVERSE EXPANSION JOINTS UNLESS APPROVED BY THE ENGINEER.

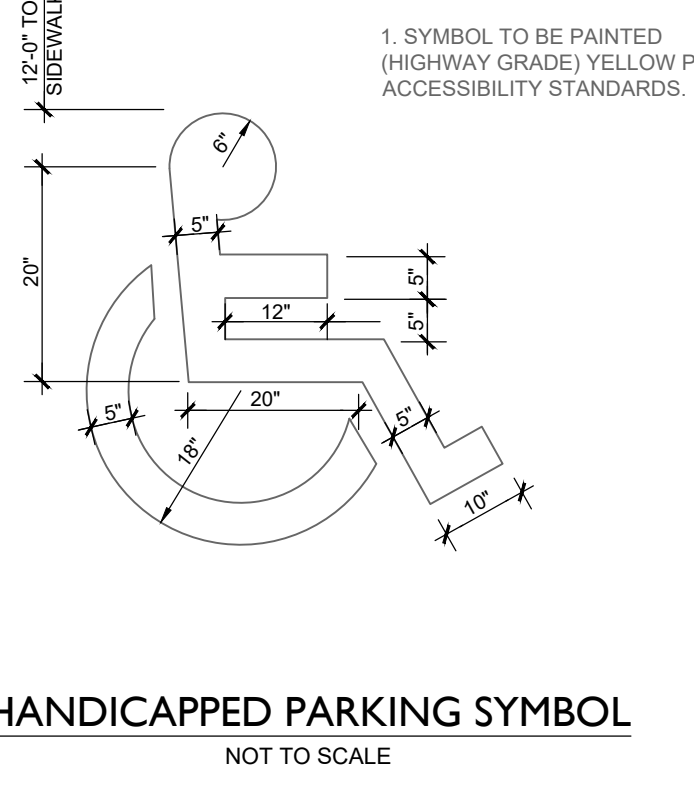
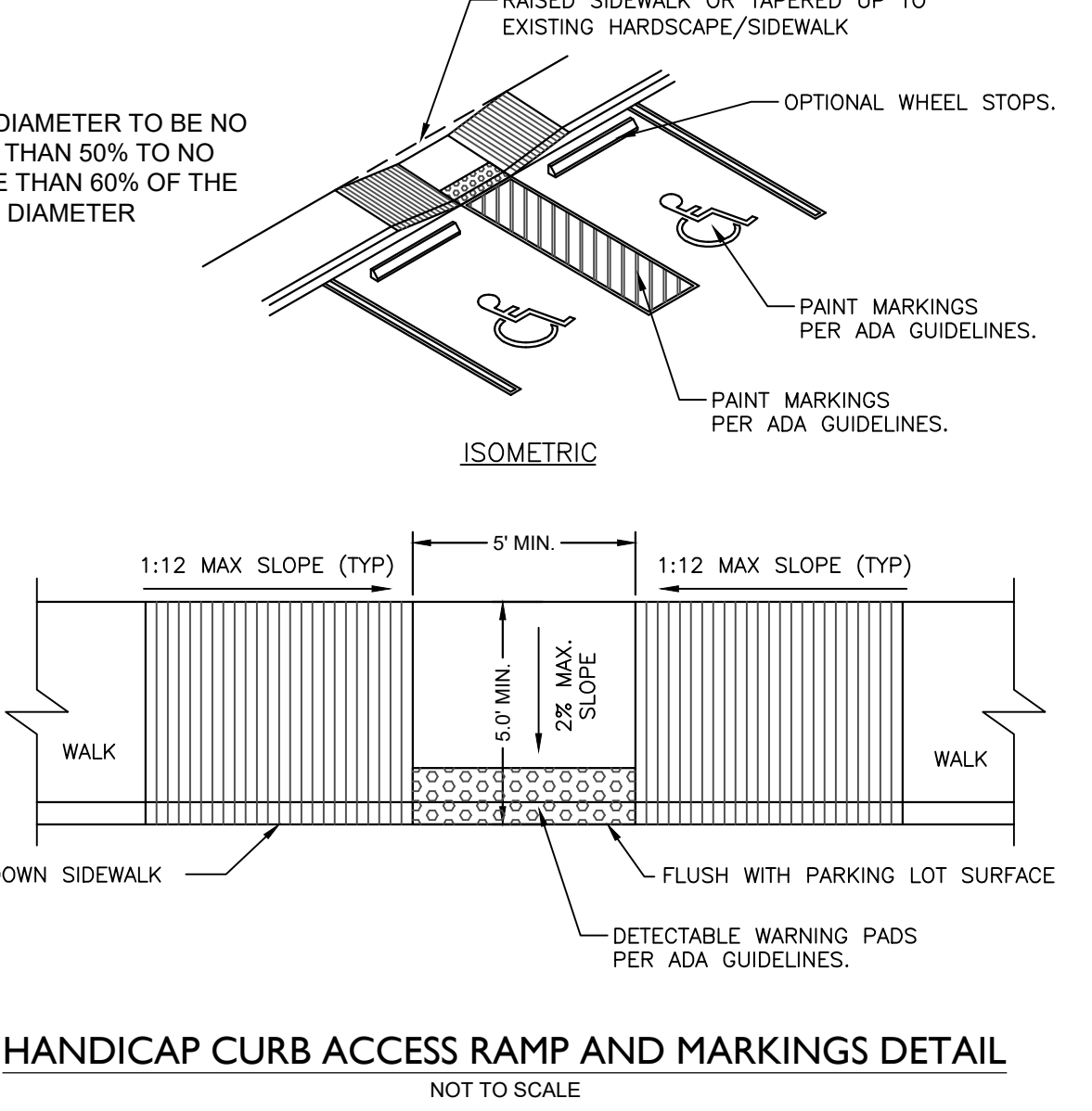
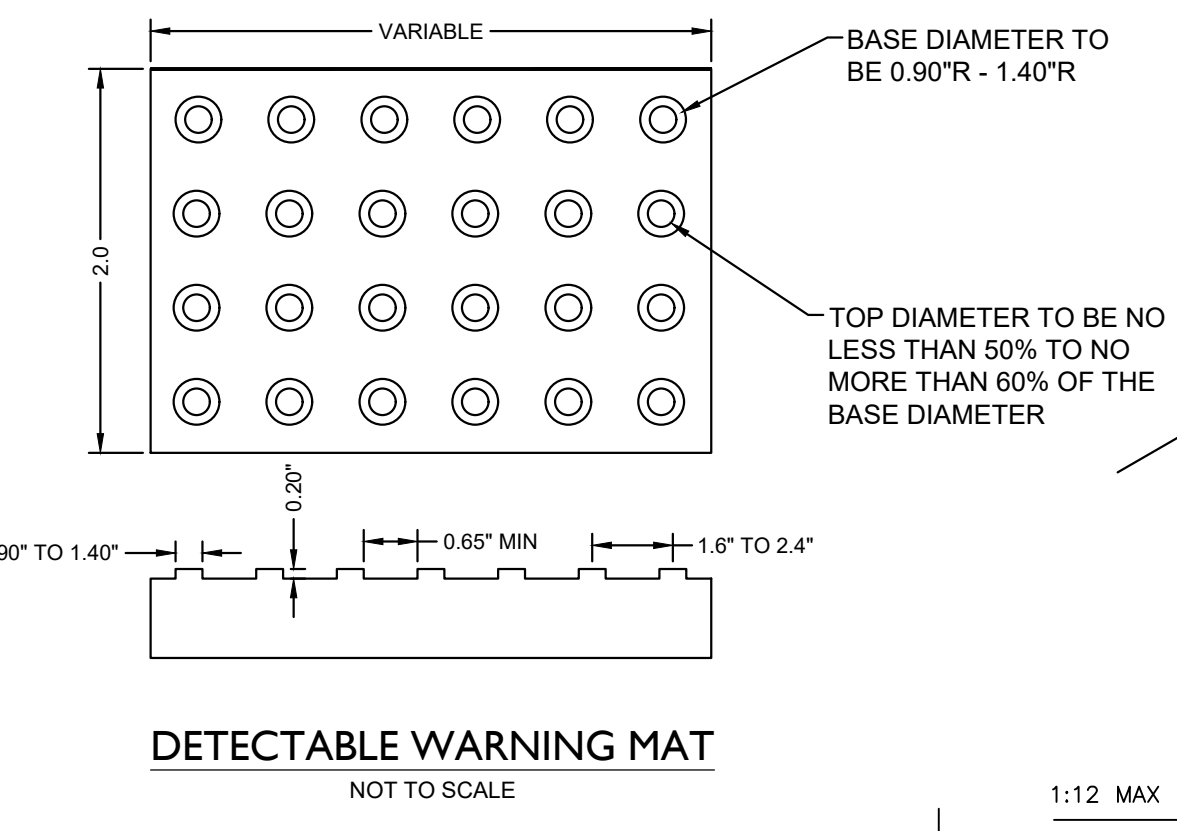
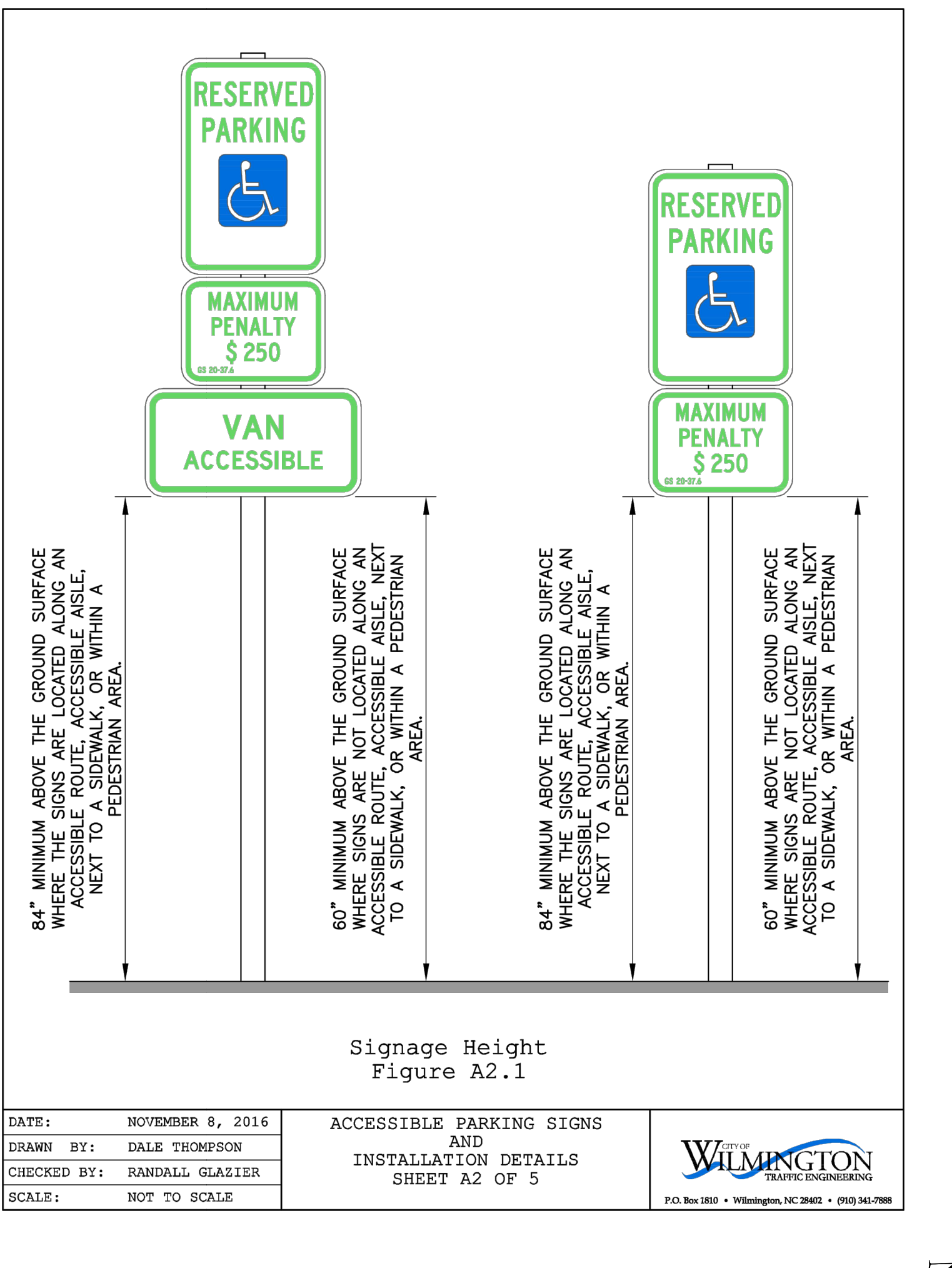


Approved Construction Plan
Name: _____ Date: _____

Planning: _____
Traffic: _____
Fire: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:
1. RESPONSE TO TRC COMMENTS
2. REVISED LAYOUT

CLIENT INFORMATION:
CAPITAL PROPERTIES OF WILMINGTON, LLC
4900 LEIGH DRIVE
RALEIGH, NORTH CAROLINA 27616

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6700 (F)
N.C. License #: C-2846

PROJECT STATUS:
DESIGN: PRELIMINARY LAYOUT
RELEASED FOR CONSTRUCTION

DRAWING INFORMATION:
DATE: 08/18/16
SCALE: AS NOTED
DRAWN: JRC/AC
CHECKED: RPB

SEAL

C-5.0

PEI JOB#: 17410.PE

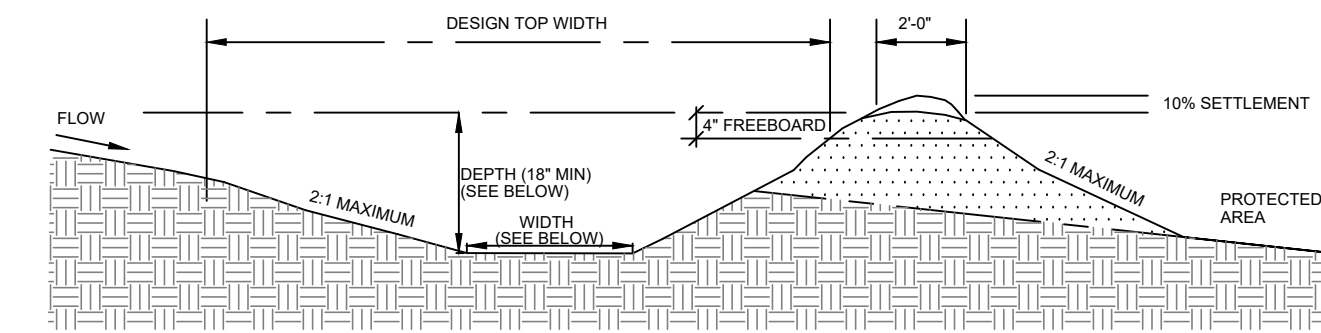
NCDENR PWSS WATER PERMIT #: _____ GPD
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____ GPD
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: **YES** or **NO** (CIRCLE ONE)

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan

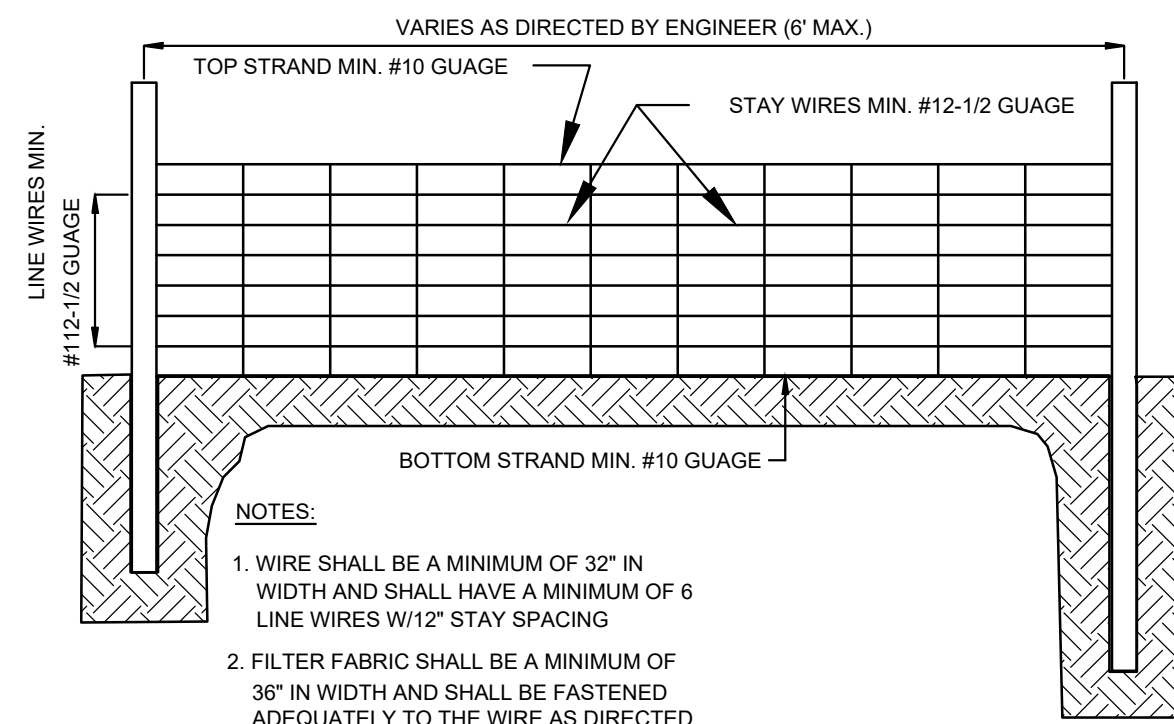
Name	Date
Planning	
Traffic	
Fire	

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



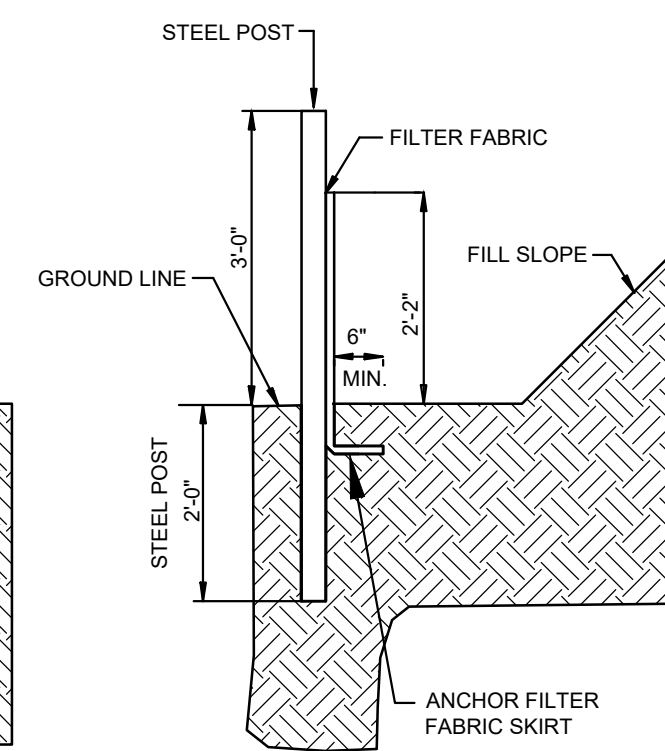
NOTES:
 BUILD RIDGE HIGHER THAN DESIGN AND COMPACT WITH WHEELS OF CONSTRUCTION EQUIPMENT. COMPACTED RIDGE MUST AT OR ABOVE DESIGN GRADE AT ALL POINTS. CHANNEL MUST BE CONSTRUCTED ON DESIGN GRADE. LEAVE SUFFICIENT AREA ALONG DIVERSION TO PERMIT CLEANOUT AND REGRADING.

TEMPORARY DIVERSION DITCH
 NOT TO SCALE

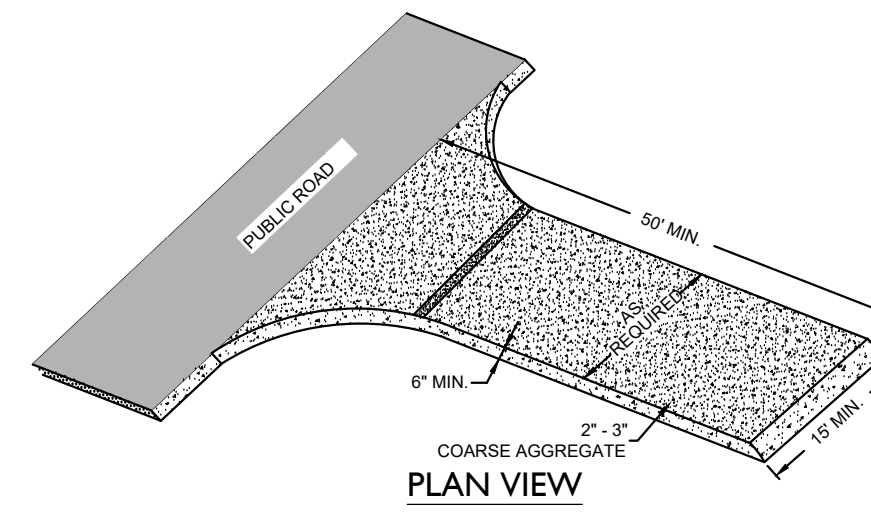


NOTES:
 1. WIRE SHALL BE A MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH STAY SPACING
 2. FILTER FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH AND SHALL BE FASTENED ADEQUATELY TO THE WIRE AS DIRECTED BY THE ENGINEER
 3. STEEL POST SHALL BE 5" 0" IN HEIGHT AND BE OF SELF FASTENER ANGLE STEEL TYPE

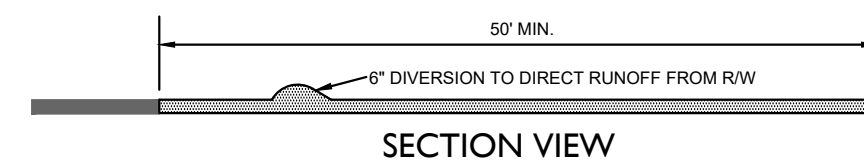
GUIDELINES FOR TEMPORARY SILT FENCE DETAIL
 NOT TO SCALE



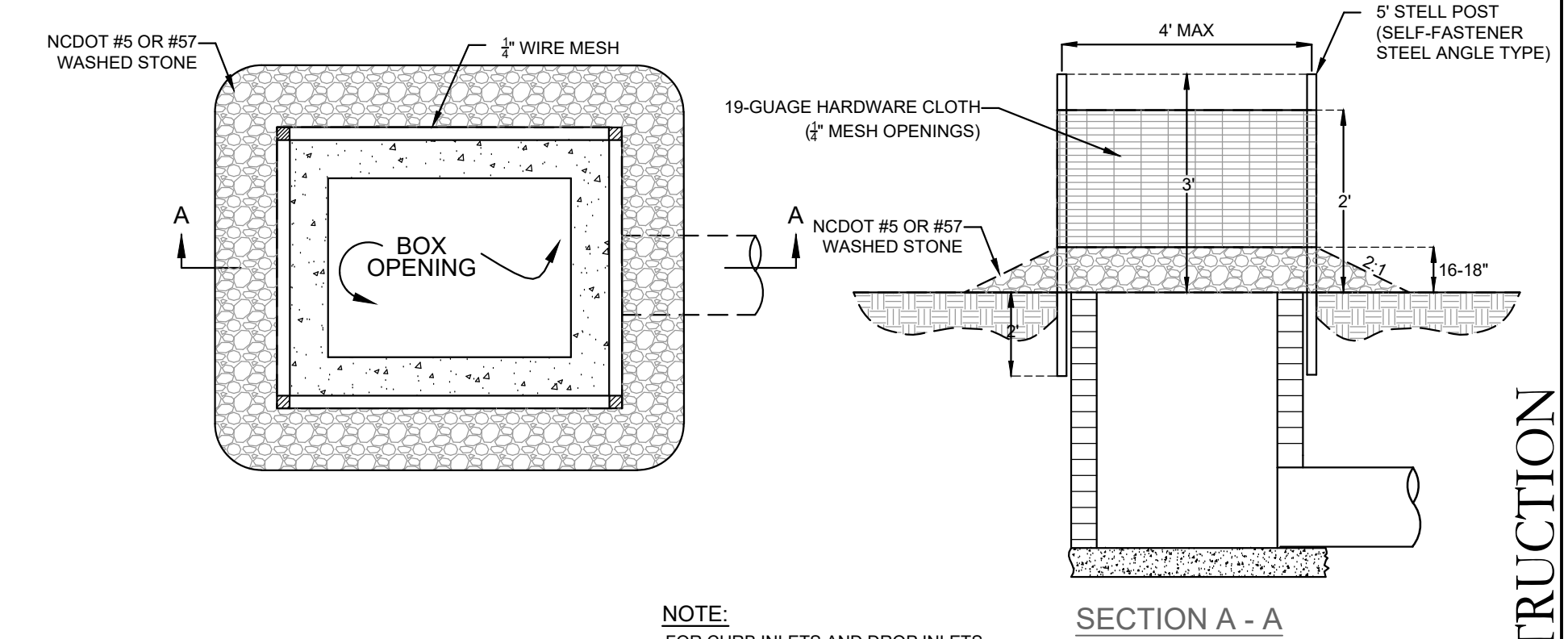
TEMPORARY CONSTRUCTION ENTRANCE
 NOT TO SCALE



PLAN VIEW

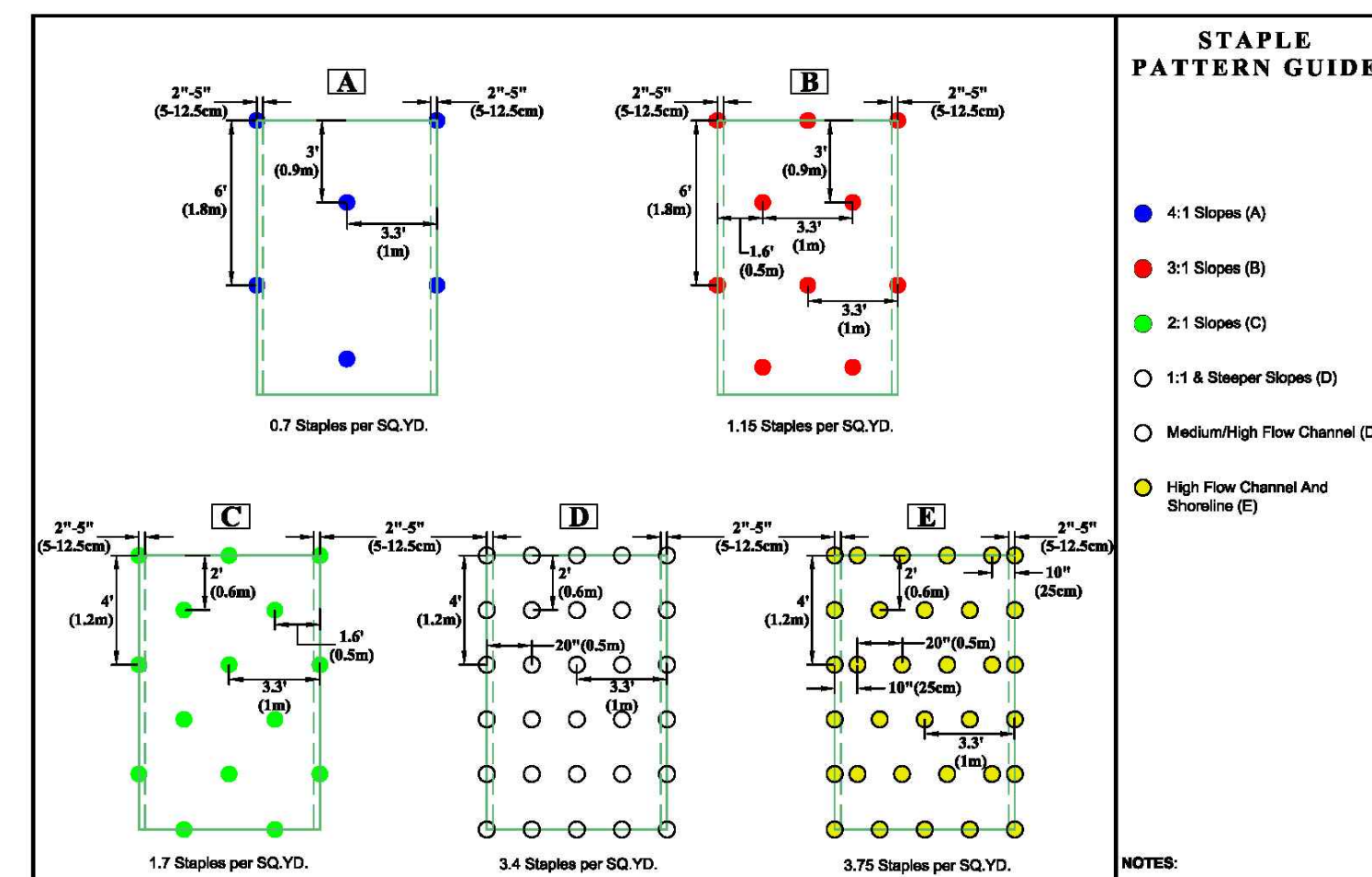


SECTION VIEW



NOTE:
 FOR CURB INLETS AND DROP INLETS

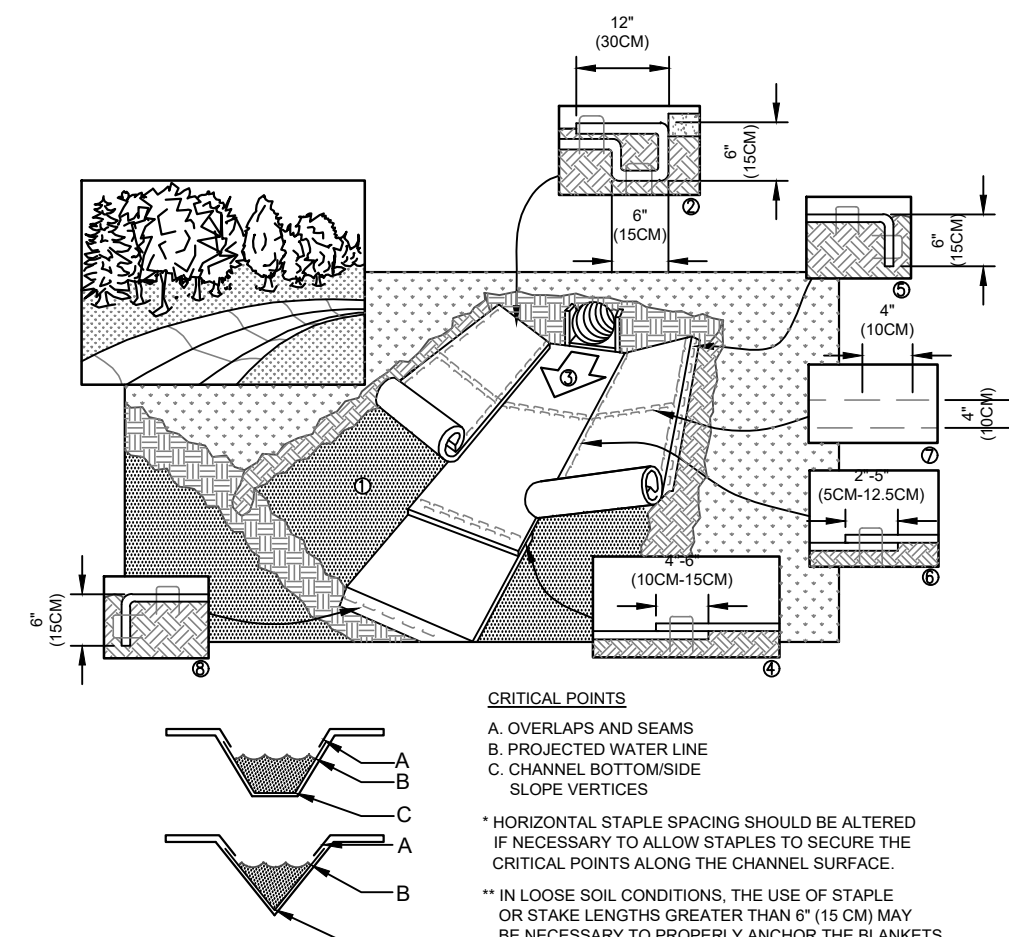
INLET PROTECTION
 NOT TO SCALE



STAPLE PATTERN GUIDE

- 4:1 Slopes (A)
- 3:1 Slopes (B)
- 2:1 Slopes (C)
- 1:1 & Steeper Slopes (D)
- Medium/High Flow Channel and Shoreline (E)

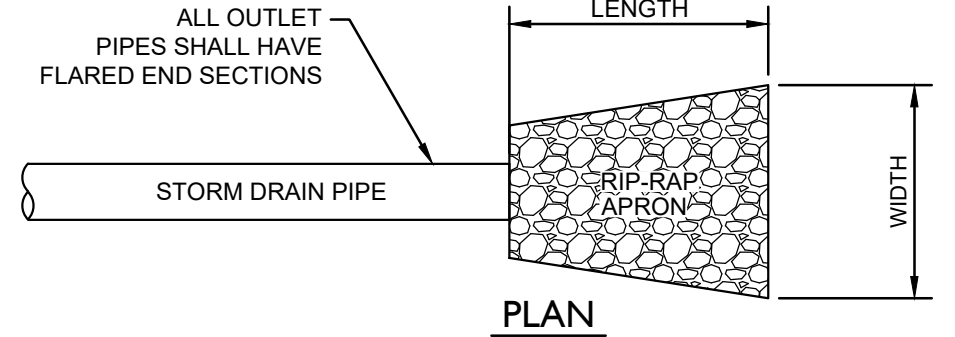
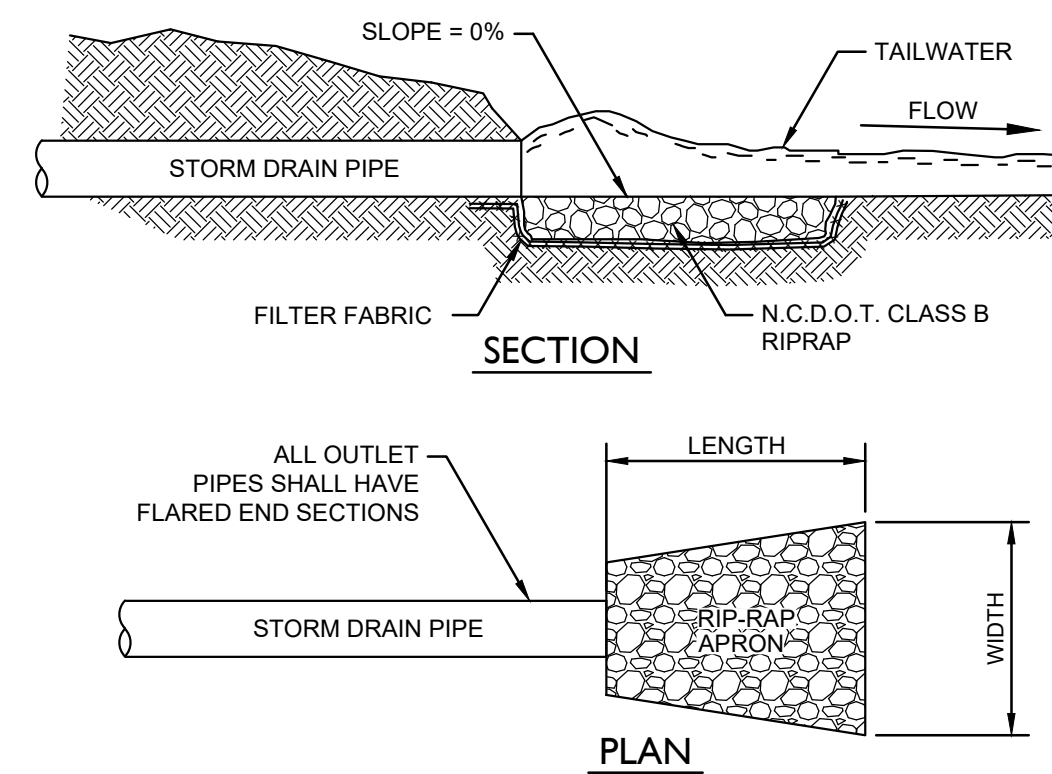
NOTES:
 * Use EGMDS for more accurate staple pattern selection.



CRITICAL POINTS
 A. OVERLAPS AND SEAMS
 B. PROJECTED WATER LINE
 C. CHANNEL BOTTOMSIDE SLOPE VERTICES
 * HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE
 ** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

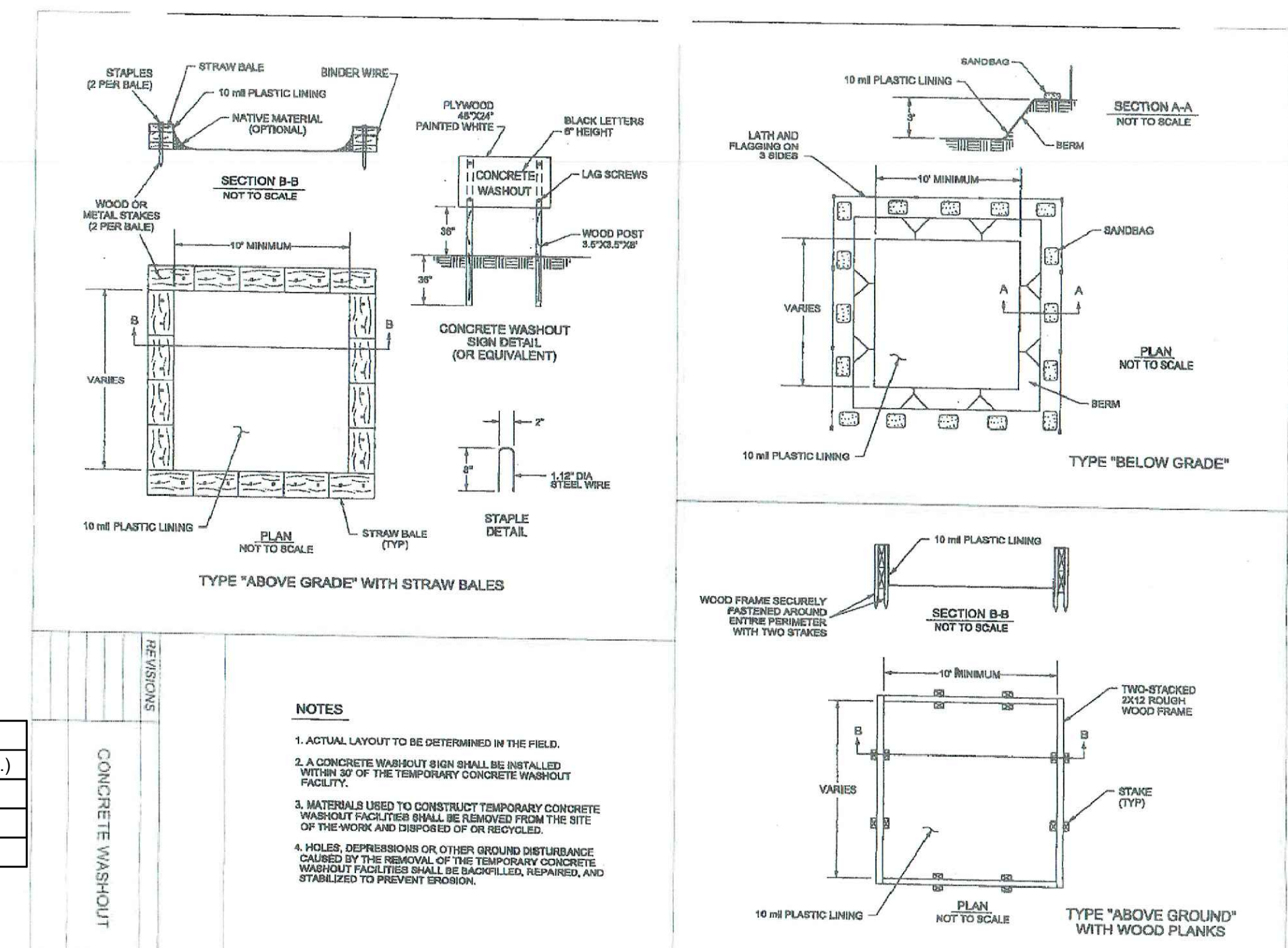
NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.

ROLLED EROSION CONTROL LINING
 NOT TO SCALE



RIP-RAP APRON
 NTS

RIP-RAP SCHEDULE					
APRON #	PIPE DIA. (IN.)	LENGTH (FT.)	UP. WIDTH (FT.)	DNW. WIDTH (FT.)	THICKNESS (IN.)
FES-100	30	11	7.5	7.5	18
FES-200	12	4	3	3	18
Pond OS #1	24	9	6	6	18



NOTES

1. ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
 2. A CONCRETE WASHOUT BOX SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 3. MATERIAL USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITY SHALL BE REMOVED FROM THE SITE OR RECYCLED.
 4. HOLES, DEPRESSIONS OR OTHER OBVIOUS DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITY SHALL BE REPAIRED, REINFORCED AND STABILIZED TO PREVENT EROSION.

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:
 1. RESPONSE TO TRC COMMENTS

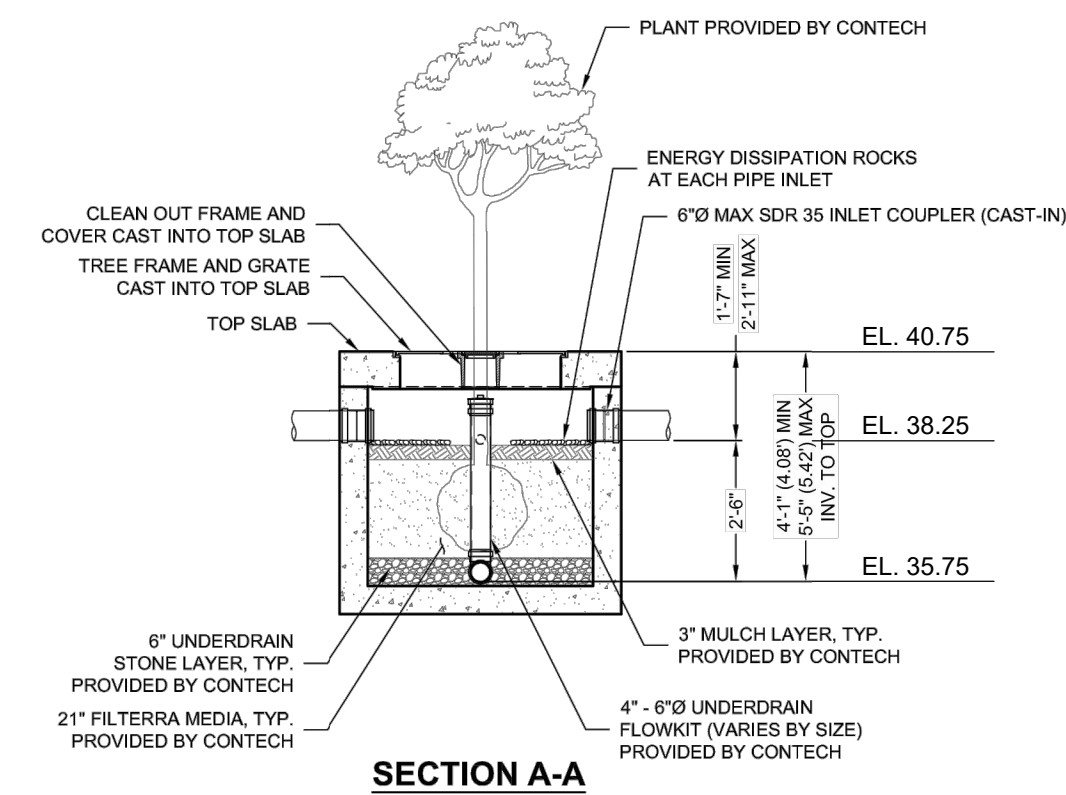
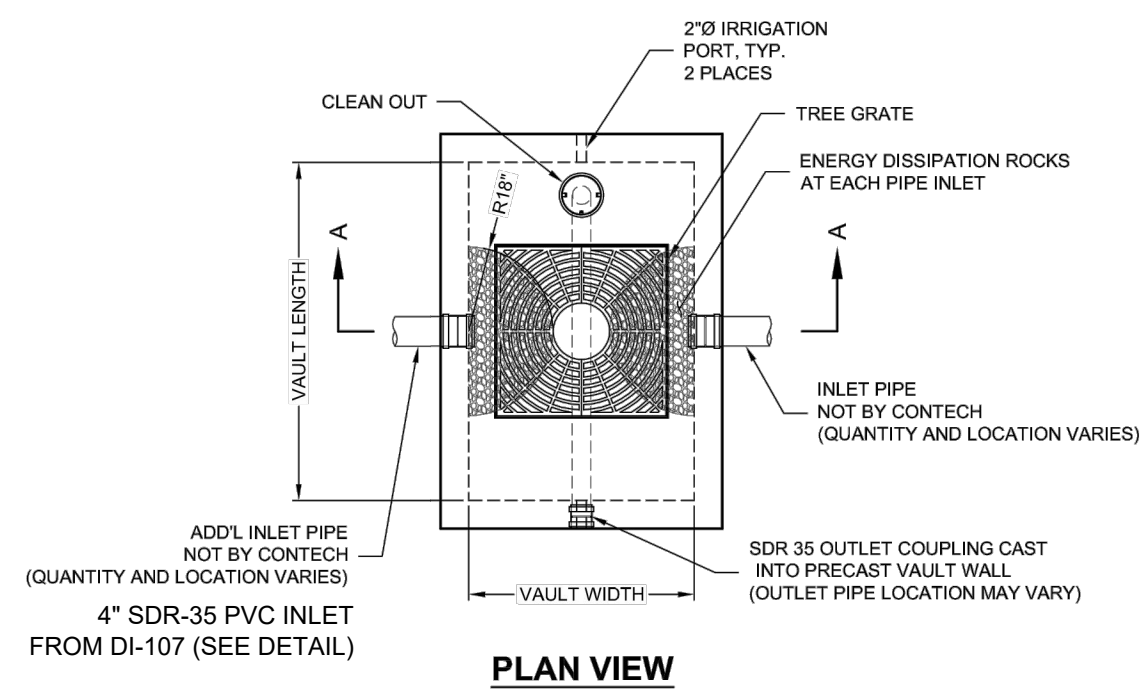
CLIENT INFORMATION:
 CAPITAL PROPERTIES OF WILMINGTON, LLC
 4900 LEIGH DRIVE
 RALEIGH, NORTH CAROLINA 27616

PARAMOUNTE
 ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6700 (F)
 NC License # - C-2846

DETAILS
 PARKING EXPANSION
 CAPITAL FORD OF WILMINGTON
 NEW HANOVER COUNTY
 WILMINGTON, NC

PROJECT STATUS
 PRELIMINARY LAYOUT
 FINAL DESIGN
 RELEASED FOR CONSTRUCTION

SEAL
 DRAWING INFORMATION
 DATE: 06/18
 SCALE: AS NOTED
 DRAWN: JRC/AC
 CHECKED: JRC/AC
 C-5.1
 PEI JOB#: 17410.PE

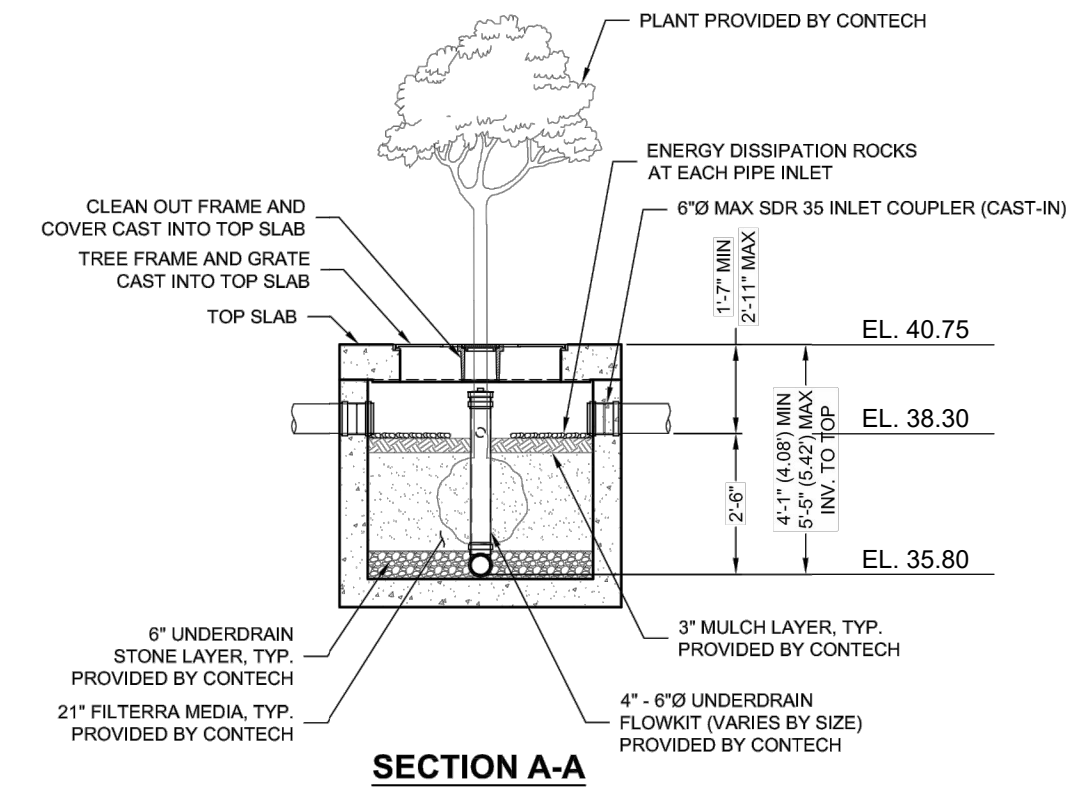
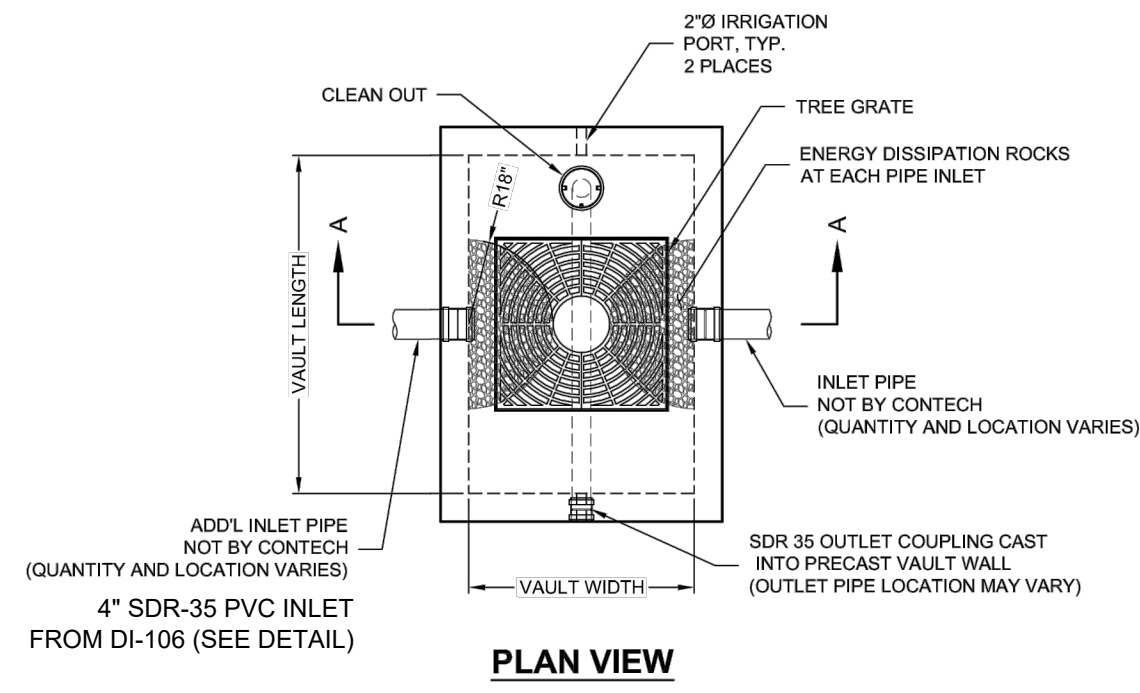


DESIGNATION	AVAILABILITY	MEDIA BAY SIZE	VAULT SIZE (L x W)	OUTLET PIPE	TREE GRATE QTY & SIZE	MIN NO. OF INLET PIPES
FT0604-P	ALL	4 x 4	4 x 4	4" SDR 35	(1) 3' x 3'	1
FT0604-P	N/A CA	6 x 4	6 x 4	4" SDR 35	(1) 3' x 3'	1
FT0606-P	ALL	6 x 6	6 x 6	4" SDR 35	(1) 3' x 3'	1
FT06504-P	CA ONLY	6.5 x 4	6.5 x 4	4" SDR 35	(1) 3' x 3'	1
FT07804S-P	MID-ATL ONLY	7.83 x 4.5	7.83 x 4.5	4" SDR 35	(1) 3' x 3'	1
FT0804-P	N/A MID-ATL	8 x 4	8 x 4	4" SDR 35	(1) 3' x 3'	1
FT0806-P	ALL	8 x 6	8 x 6	4" SDR 35	(1) 4' x 4'	1
FT1006-P	ALL	10 x 6	10 x 6	6" SDR 35	(1) 4' x 4'	2
FT1206-P	ALL	12 x 6	12 x 6	6" SDR 35	(2) 4' x 4'	2
FT1307-P	ALL	13 x 7	13 x 7	6" SDR 35	(2) 4' x 4'	2
FT1408-P	CALL CONTECH	14 x 8	14 x 8	6" SDR 35	(2) 4' x 4'	3
FT1608-P	CALL CONTECH	16 x 8	16 x 8	6" SDR 35	(2) 4' x 4'	3
FT1808-P	CALL CONTECH	18 x 8	18 x 8	6" SDR 35	(2) 4' x 4'	3
FT2008-P	CALL CONTECH	20 x 8	20 x 8	6" SDR 35	(3) 4' x 4'	4
FT2208-P	CALL CONTECH	22 x 8	22 x 8	6" SDR 35	(3) 4' x 4'	4

N/A = NOT AVAILABLE

CONTECH
ENGINEERED SOLUTIONS LLC
www.conteches.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45399
900-338-1122 513-645-7000 513-645-7993 FAX

FILTERRA OFFLINE - PIPE (FT-P) CONFIGURATION DETAIL #1



DESIGNATION	AVAILABILITY	MEDIA BAY SIZE	VAULT SIZE (L x W)	OUTLET PIPE	TREE GRATE QTY & SIZE	MIN NO. OF INLET PIPES
FT0604-P	ALL	4 x 4	4 x 4	4" SDR 35	(1) 3' x 3'	1
FT0604-P	N/A CA	6 x 4	6 x 4	4" SDR 35	(1) 3' x 3'	1
FT0606-P	ALL	6 x 6	6 x 6	4" SDR 35	(1) 3' x 3'	1
FT06504-P	CA ONLY	6.5 x 4	6.5 x 4	4" SDR 35	(1) 3' x 3'	1
FT07804S-P	MID-ATL ONLY	7.83 x 4.5	7.83 x 4.5	4" SDR 35	(1) 3' x 3'	1
FT0804-P	N/A MID-ATL	8 x 4	8 x 4	4" SDR 35	(1) 3' x 3'	1
FT0806-P	ALL	8 x 6	8 x 6	4" SDR 35	(1) 4' x 4'	1
FT1006-P	ALL	10 x 6	10 x 6	6" SDR 35	(2) 4' x 4'	2
FT1206-P	ALL	12 x 6	12 x 6	6" SDR 35	(2) 4' x 4'	2
FT1307-P	ALL	13 x 7	13 x 7	6" SDR 35	(2) 4' x 4'	2
FT1408-P	CALL CONTECH	14 x 8	14 x 8	6" SDR 35	(2) 4' x 4'	3
FT1608-P	CALL CONTECH	16 x 8	16 x 8	6" SDR 35	(2) 4' x 4'	3
FT1808-P	CALL CONTECH	18 x 8	18 x 8	6" SDR 35	(2) 4' x 4'	3
FT2008-P	CALL CONTECH	20 x 8	20 x 8	6" SDR 35	(3) 4' x 4'	4
FT2208-P	CALL CONTECH	22 x 8	22 x 8	6" SDR 35	(3) 4' x 4'	4

N/A = NOT AVAILABLE

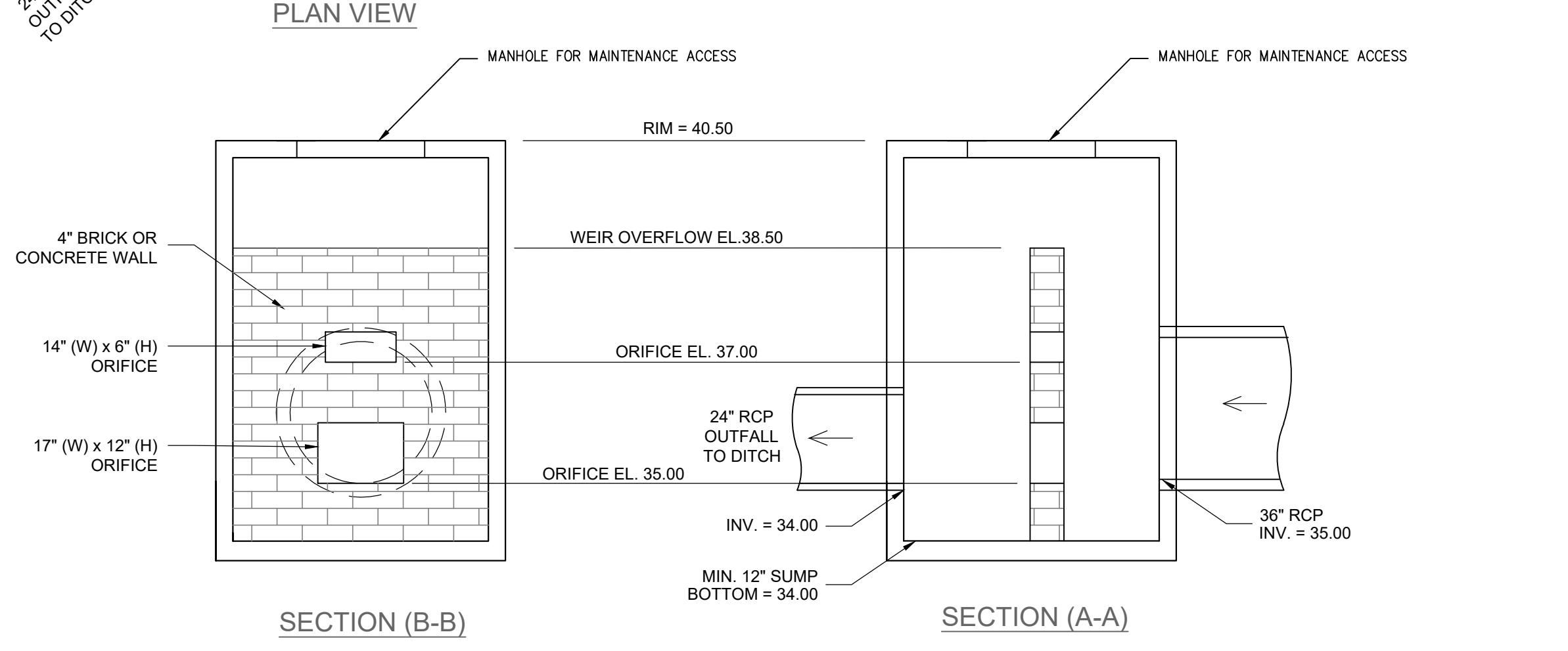
CONTECH
ENGINEERED SOLUTIONS LLC
www.conteches.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45399
900-338-1122 513-645-7000 513-645-7993 FAX

FILTERRA OFFLINE - PIPE (FT-P) CONFIGURATION DETAIL #2

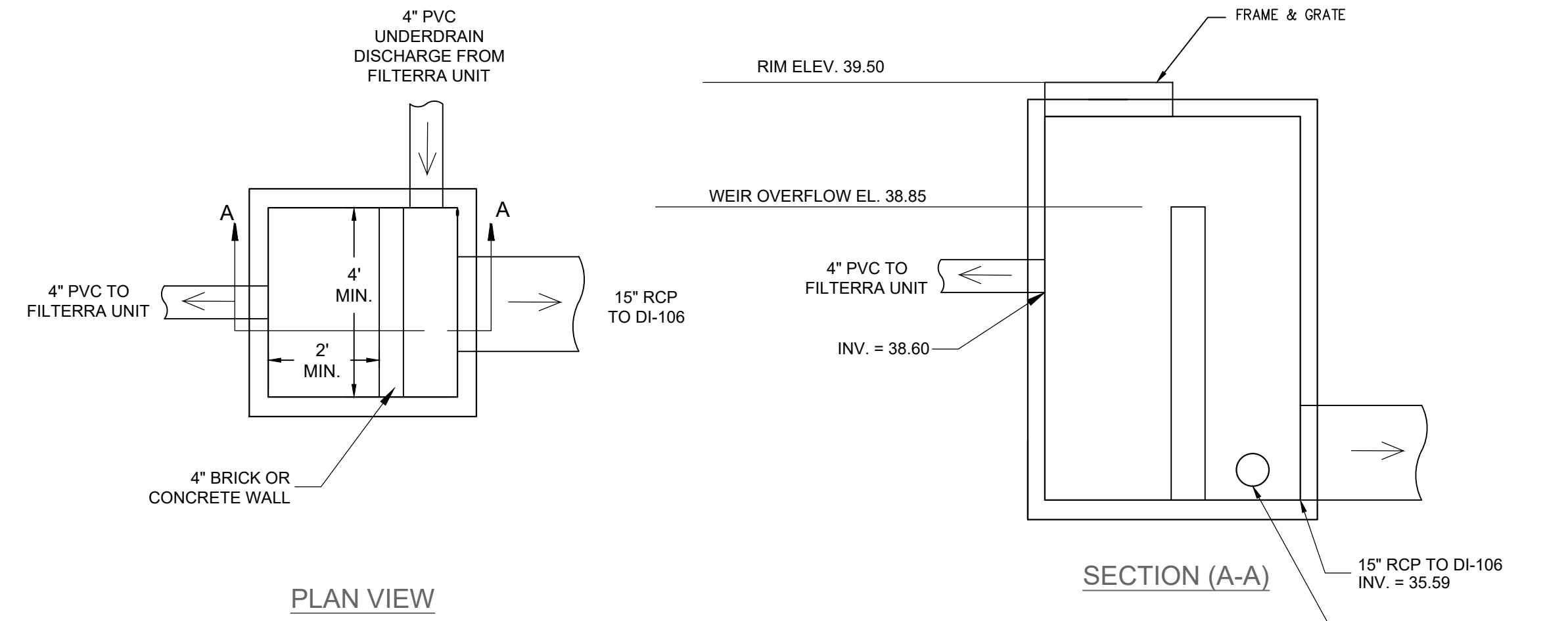
NCDENR PWSS WATER PERMIT #: _____ GPD
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____ GPD
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

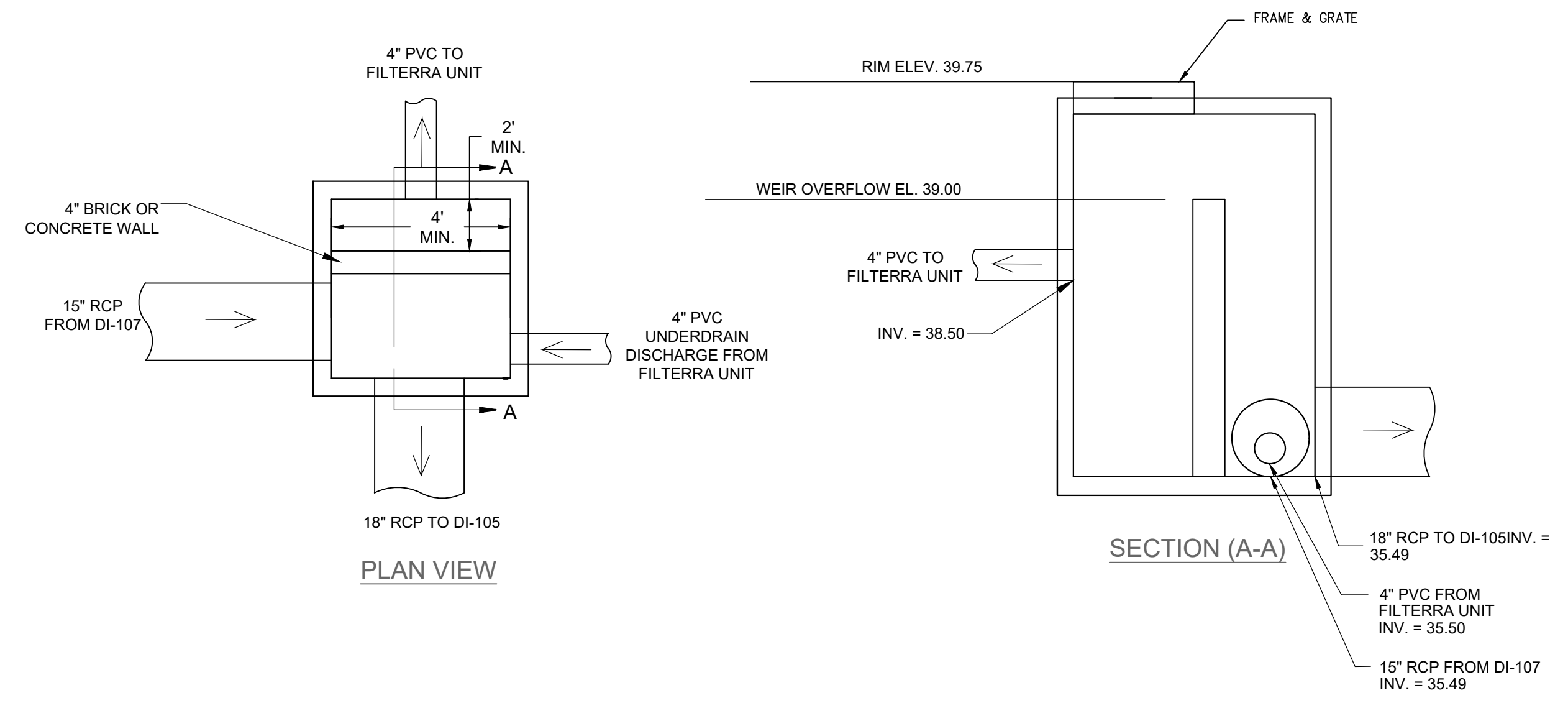
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



UNDERGROUND STORAGE OUTLET STRUCTURE (OS-101)
NOT TO SCALE



STRUCTURE DI-107
NOT TO SCALE



STRUCTURE DI-106
NOT TO SCALE

REVISIONS:
1. RESPONSE TO TRC COMMENTS
2. REVISED LAYOUT

CLIENT INFORMATION:
CAPITAL PROPERTIES OF WILMINGTON, LLC
4900 LEIGH DRIVE
RALEIGH, NORTH CAROLINA 27616

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

DETAILS
PARKING EXPANSION
CAPITAL FORD OF WILMINGTON
NEW HANOVER COUNTY
WILMINGTON, NC

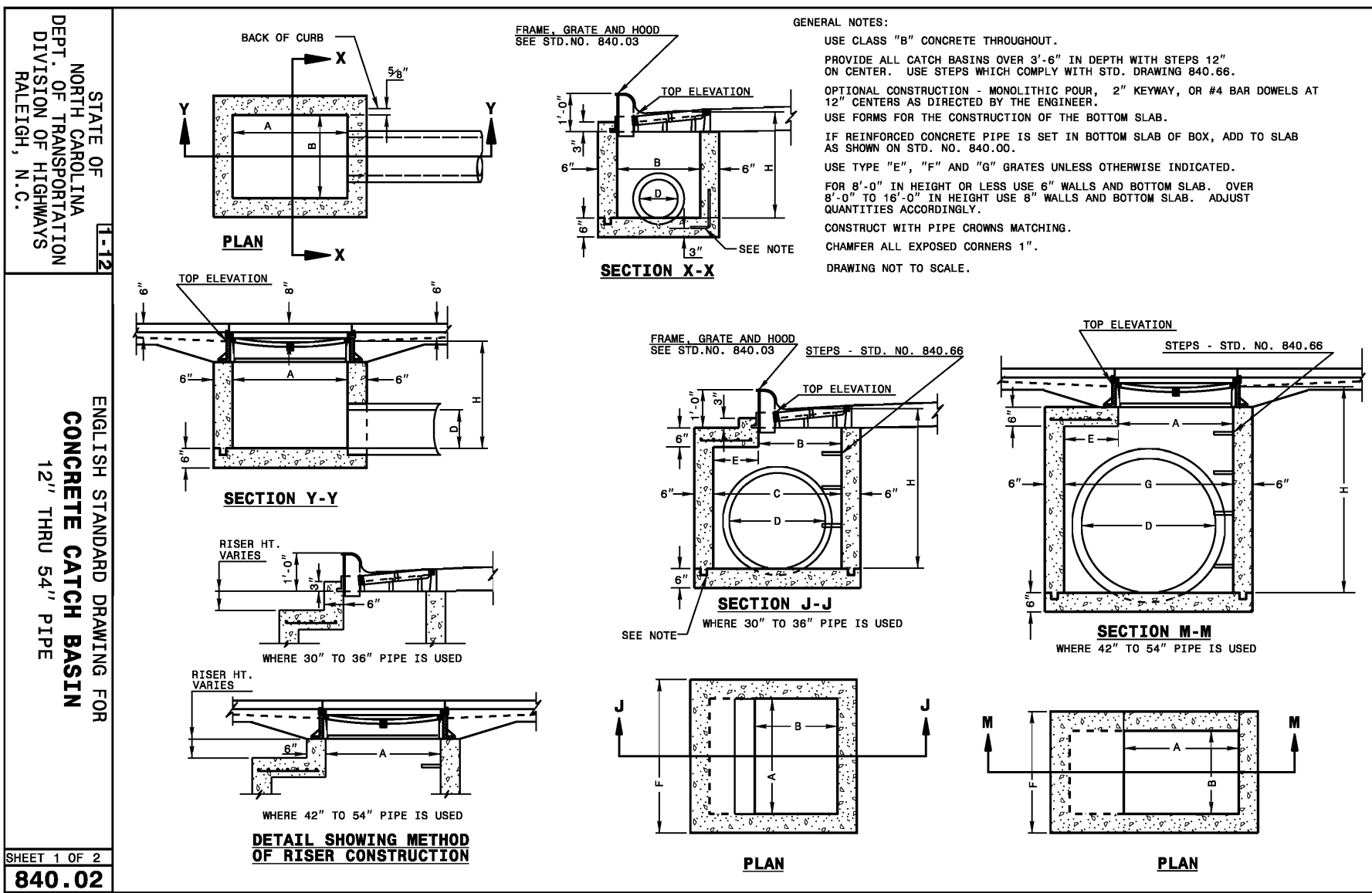
PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

PROJECT STATUS:
PRELIMINARY LAYOUT:
FINAL DESIGN:
RELEASED FOR CONSTRUCTION:
DATE: 08/18/19
SCALE: AS NOTED
DRAWN: JRC/AC
CHECKED: RPB

SEAL

C-5.2

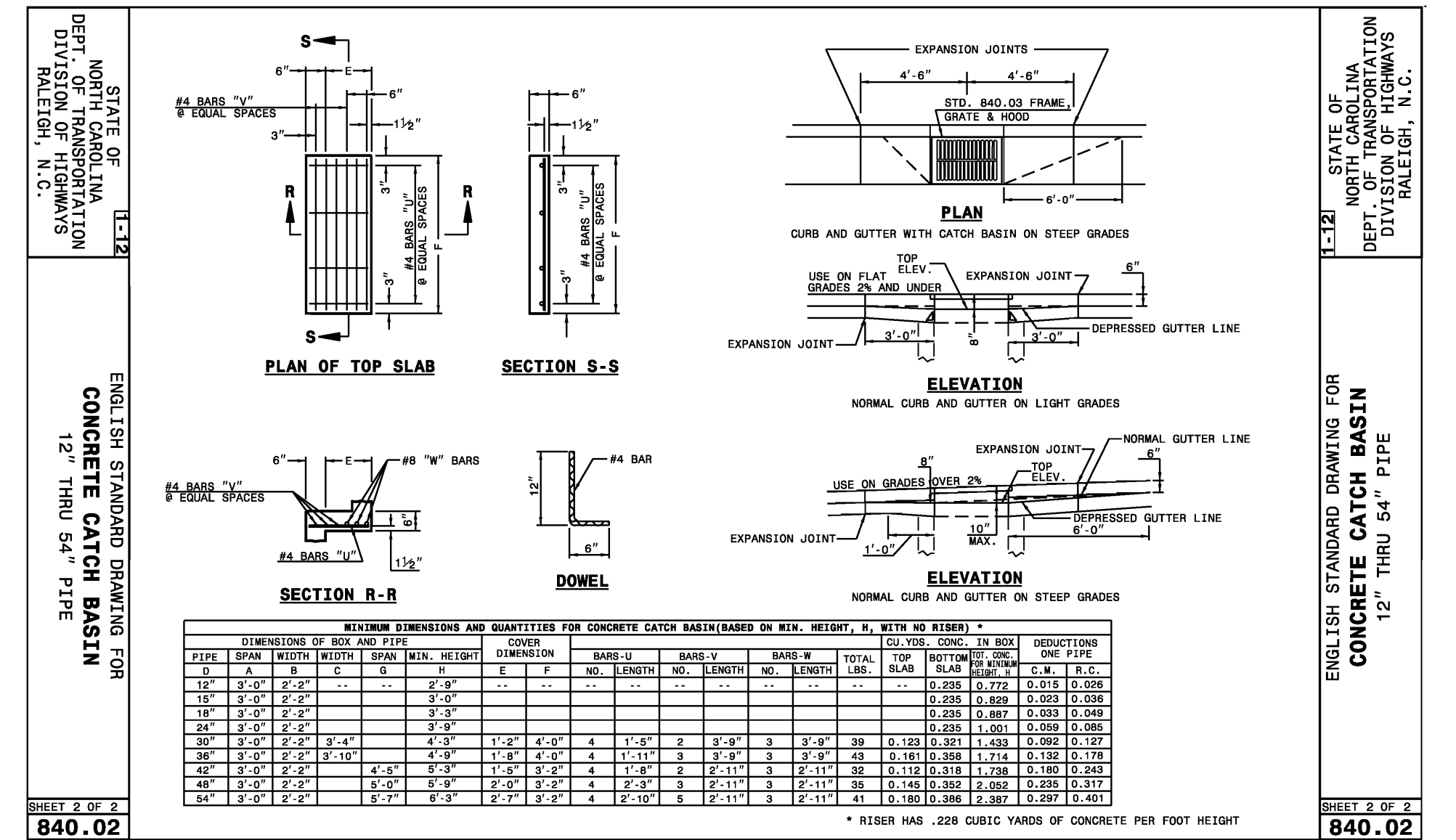
PEI JOB#: 17410.PE



STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR
CONCRETE CATCH BASIN
12" THRU 54" PIPE

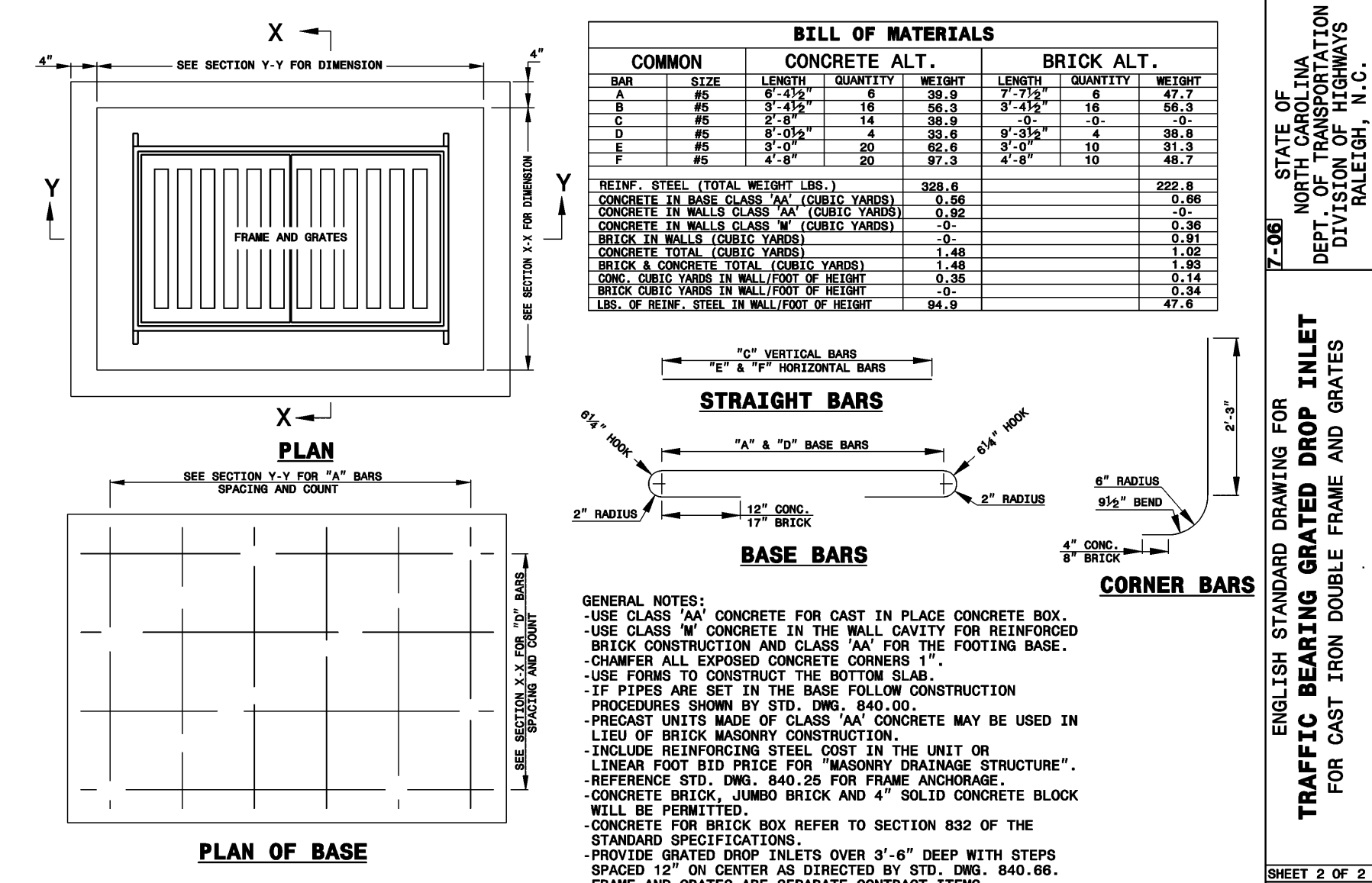
SHEET 1 OF 2
840.02



STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR
CONCRETE CATCH BASIN
12" THRU 54" PIPE

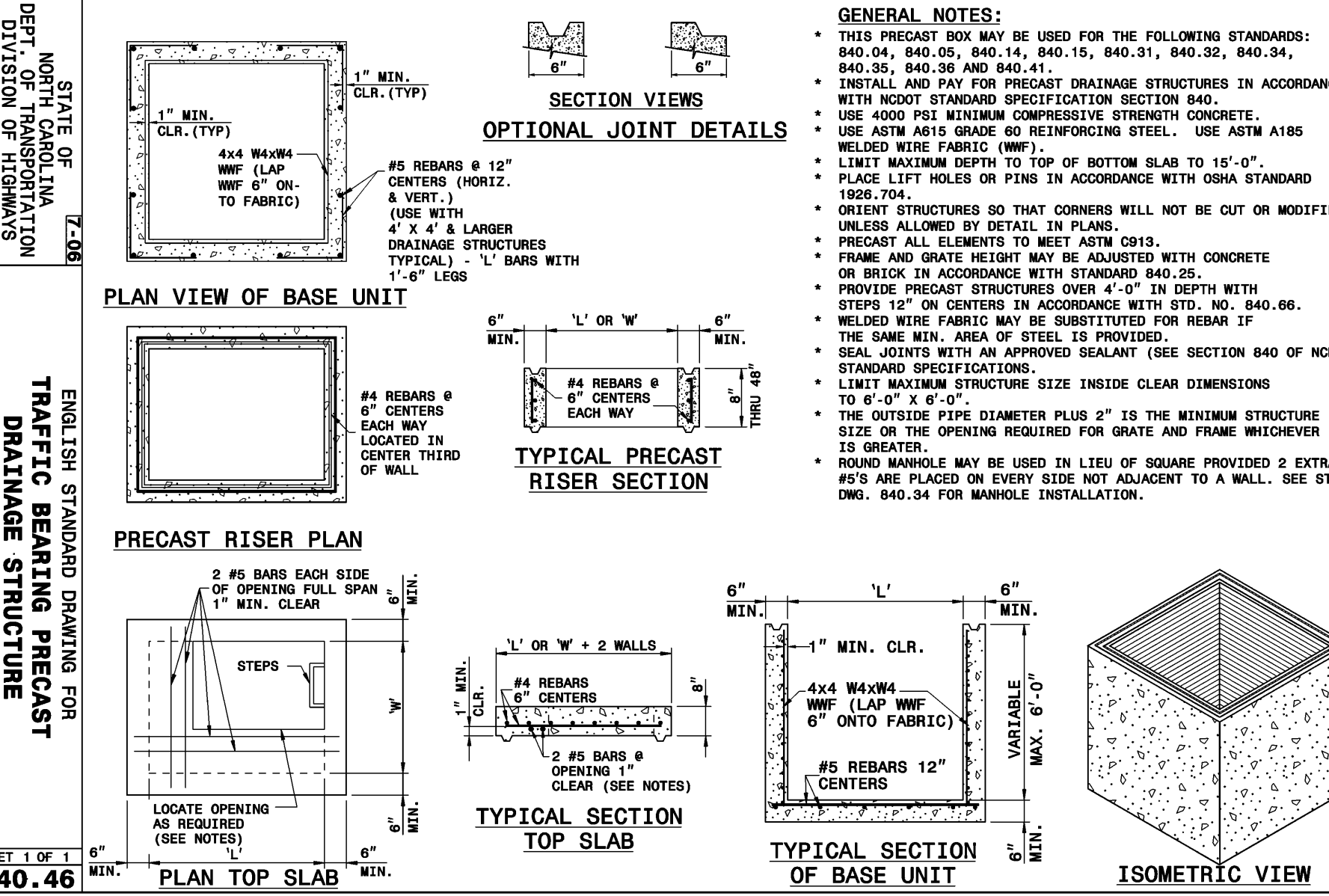
SHEET 2 OF 2
840.02



STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR
TRAFFIC BEARING GRATED DROP INLET
FOR CAST IRON DOUBLE FRAME AND GRATES

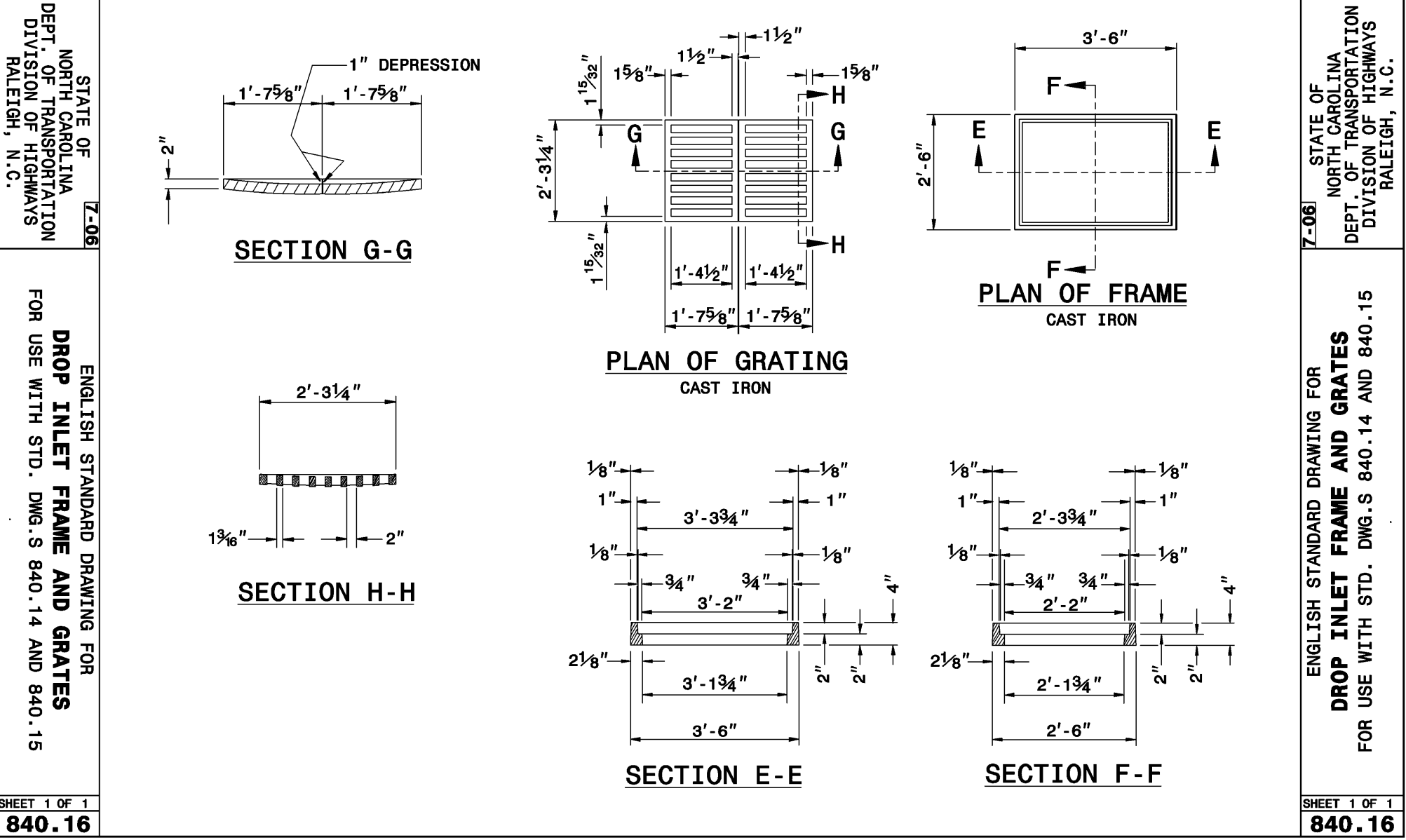
SHEET 2 OF 2
840.35



STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR
TRAFFIC BEARING PRECAST
DRAINAGE STRUCTURE

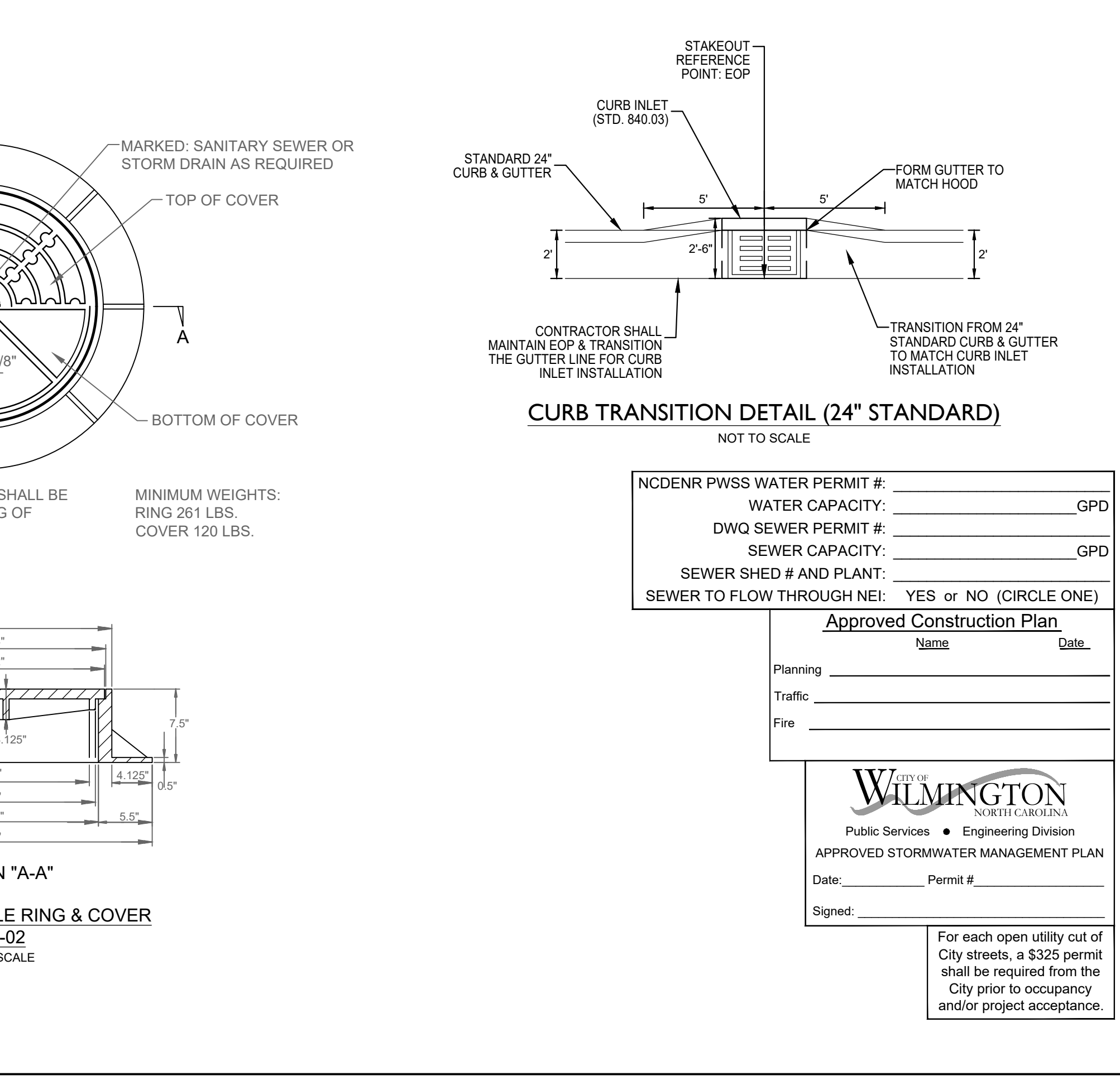
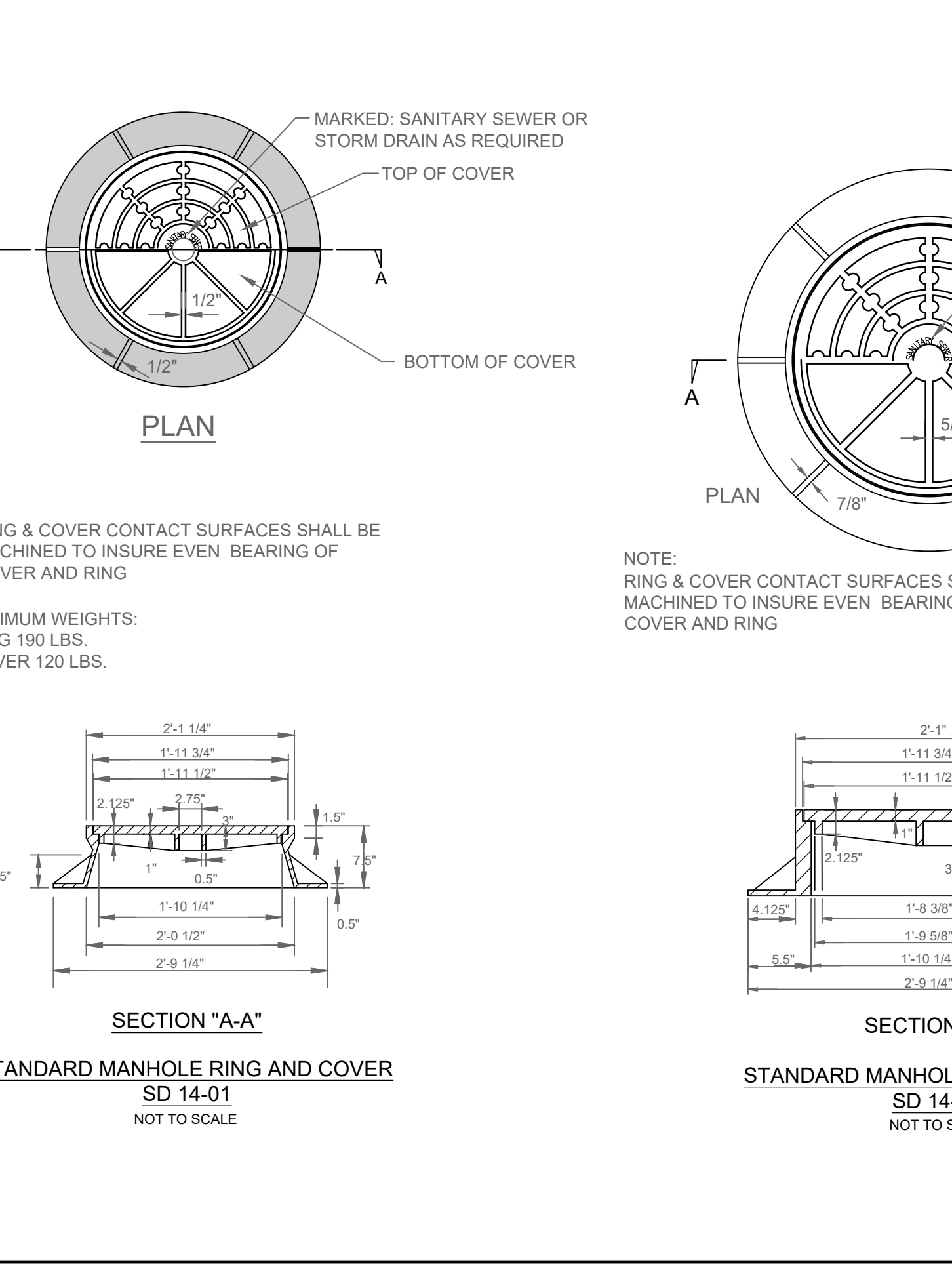
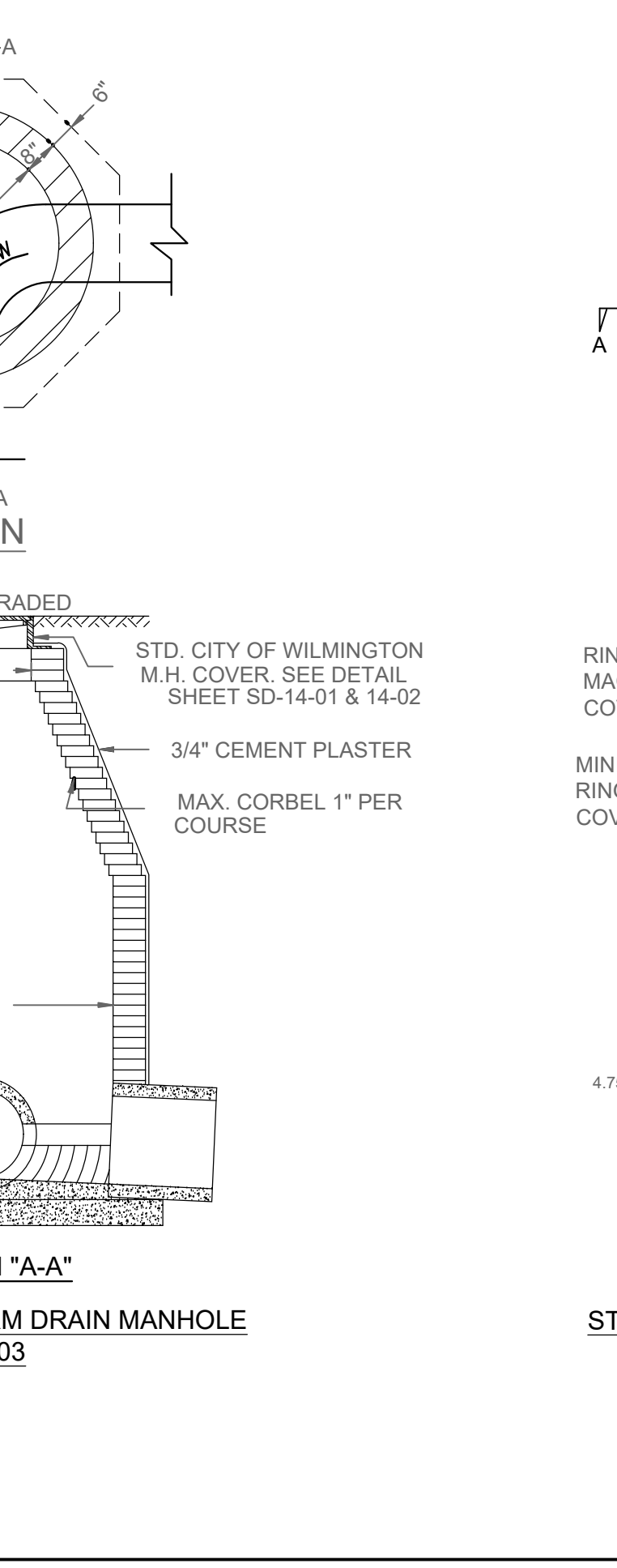
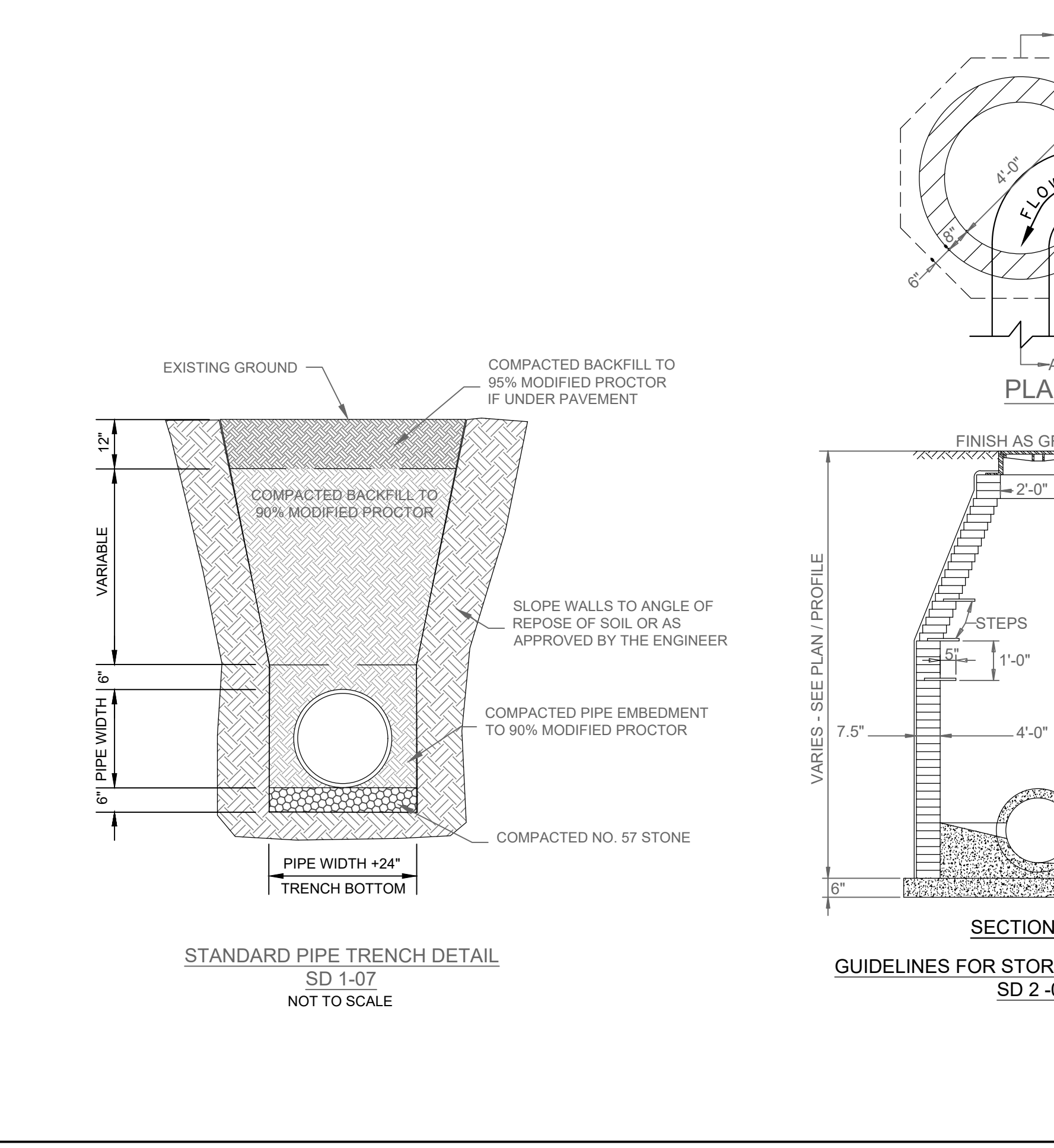
SHEET 1 OF 1
840.46



STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR
DROP INLET FRAME AND GRATES
FOR USE WITH STD. DIMS 840.14 AND 840.15

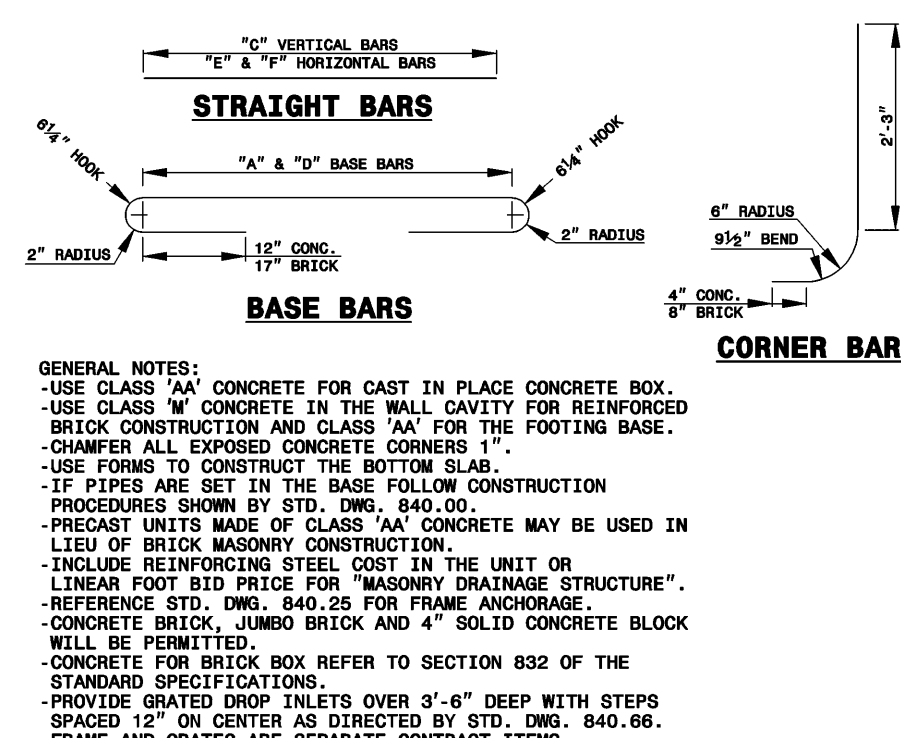
SHEET 1 OF 1
840.16



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

BILL OF MATERIALS

COMMON	CONCRETE ALT.	BRICK ALT.				
ITEM#	SIZE	LENGTH	QUANTITY	WEIGHT	QUANTITY	WEIGHT
A	8" x 8" x 16"	8"	38.8	7.75	8	47.7
B	8" x 8" x 16"	16"	38.8	3.88	16	38.8
C	8" x 8" x 16"	14"	38.8	3.88	14	38.8
D	8" x 8" x 16"	4"	38.8	3.88	4	38.8
E	8" x 8" x 16"	20"	38.8	3.88	20	38.8
F	8" x 8" x 16"	20"	38.8	3.88	20	38.8
NET WT. STEEL (TOTAL WEIGHT LBS.)			328.6		222.8	
CONCRETE IN BASE CLASS "AA" (CUBIC YARDS)			0.52		0.58	
CONCRETE IN WALL CLASS "AA" (CUBIC YARDS)			0.52		0.58	
CONCRETE IN WALL CLASS "W" (CUBIC YARDS)			-		-	
BRICK IN WALL (CUBIC YARDS)			-		-	
CONCRETE TOTAL (CUBIC YARDS)			1.48		1.48	
NET WT. STEEL (TOTAL WEIGHT LBS.)			328.6		222.8	
CONC. CUBIC YARDS IN WALL/FOOT OF HEIGHT			0.38		0.44	
LBS. OF NET WT. STEEL IN WALL/FOOT OF HEIGHT			64.9		47.9	



GENERAL NOTES:
-USE CLASS "AA" CONCRETE FOR CAST IN PLACE CONCRETE BOX.
-USE CLASS "W" CONCRETE IN THE WALL CAVITY FOR REINFORCED BRICK CONSTRUCTION AND CLASS "AA" FOR THE FOOTING BASE.
-CHAMFER ALL EXPOSED CONCRETE CORNERS 1".
-USE FORMS TO CONSTRUCT THE BOTTOM SLAB.
-IF PIPES ARE SET IN THE BASE FOLLOW CONSTRUCTION PROCEDURES SHOWN BY STD. DIM. 840.09.
-PRECAST UNITS MADE OF CLASS "AA" CONCRETE MAY BE USED IN LIEU OF BRICK MASONRY CONSTRUCTION.
-INCLUDE REINFORCING STEEL COST IN THE UNIT OR LINEAR FOOT BID PRICE FOR "MASONRY DRAINAGE STRUCTURE".
-REFERENCE STD. DIM. 840.25 FOR FRAME ANCHORAGE.
-CONCRETE BRICK, LUMBER BRICK AND 4" SOLID CONCRETE BLOCK WILL BE PERMITTED.
-CONCRETE FOR BRICK BOX REFER TO SECTION 832 OF THE STANDARD SPECIFICATIONS.
-PROVIDE GRATED DROP INLETS OVER 4'-0" DEEP WITH STEPS SPACED 12" ON CENTER AS DIRECTED BY STD. DIM. 840.86.
-FRAME AND GRATES ARE SEPARATE CONTRACT ITEMS.

CLIENT INFORMATION:
REVISIONS:
1. RESPONSE TO TRC COMMENTS

3/4/19

REVISIONS:
1. RESPONSE TO TRC COMMENTS

3/4/19

PARAMOUNT ENGINEERING INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (F) (910) 791-6760 (P)
N.C. License #: C-2846

DETAILS
PARKING EXPANSION
CAPITAL FORD OF WILMINGTON
NEW HANOVER COUNTY
WILMINGTON, NC

PROJECT STATUS:
PRELIMINARY DESIGN
FINAL DESIGN
RELEASED FOR CONSTRUCTION

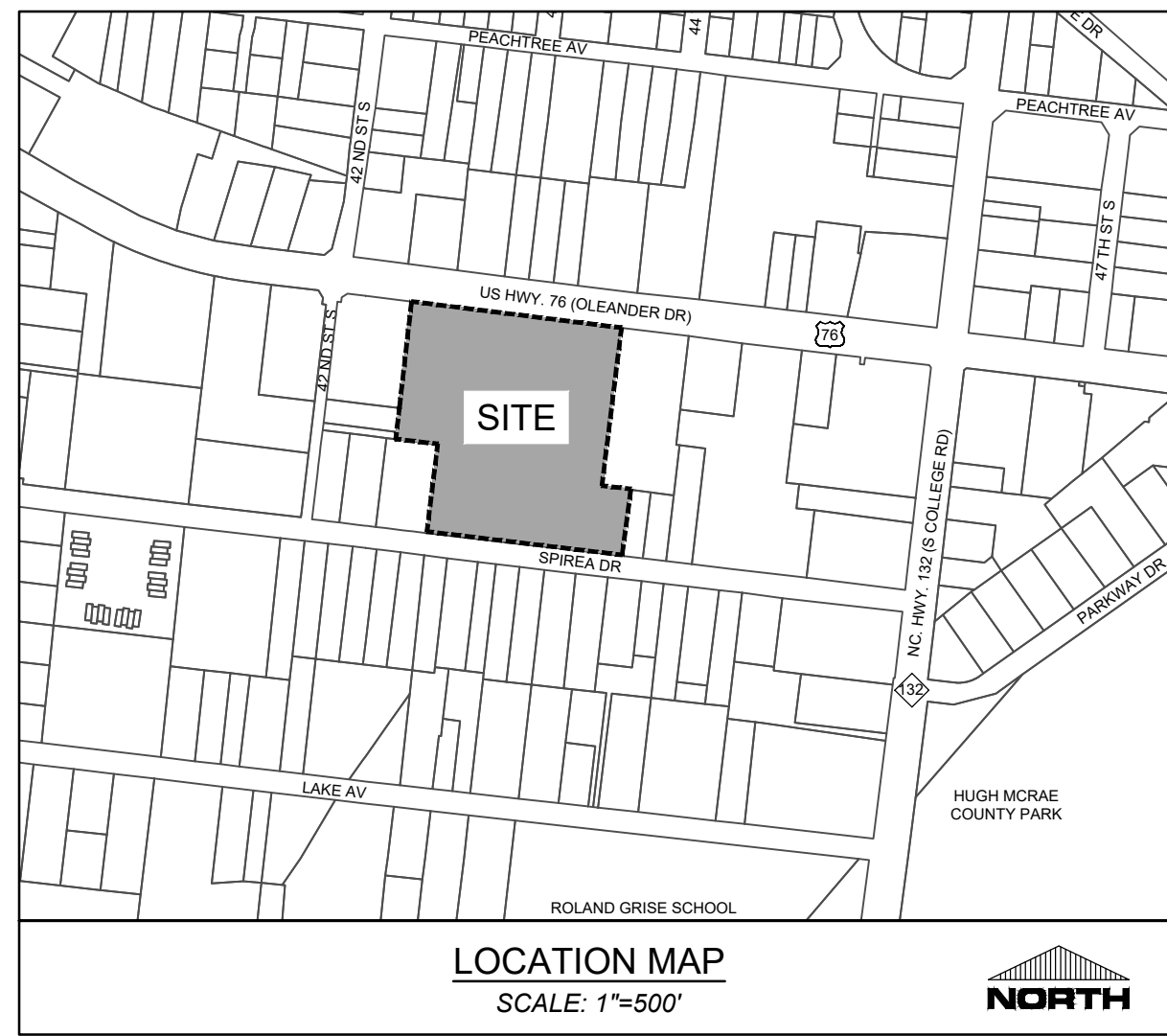
DRAWING INFORMATION:
DATE: 06/19/18
SCALE: AS NOTED
DRAWN: JRC/BC
CHECKED: JRC/BC

Approved Construction Plan
Name: _____ Date: _____
Planning: _____
Traffic: _____
Fire: _____

City of WILMINGTON
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit #: _____
Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

C-5.3
PEI JOB#: 17410.PE



LEGEND:

	EXISTING PARKING TO REMAIN UNCHANGED (NOT INCLUDED IN LANDSCAPE CALCULATIONS)
	EXISTING BUILDING
	PROPOSED CONCRETE
	EXISTING TREE SHADE SF CALCULATION
	LANDSCAPE ISLAND AREA CALCULATION
	PROPOSED STREETYARD BUFFER
	PROPOSED TREE PROTECTION FENCE
	EXISTING TREE TO REMAIN

LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
- ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- NO TREE OTHER THAN THOSE SHOWN ON APPROVED PLANS FOR REMOVAL WITH THESE PLANS AND/OR TREE REMOVAL PERMIT PLANS, SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING TURF AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
- ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. SINGLE TREES SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 5 FEET DIAMETER.
- PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
- THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.

PLANTING NOTES:

- ALL PLANT BEDS SHALL RECEIVE PINE STRAW MULCH 3" DEPTH MIN. - 4" DEPTH MAX
- SEED ALL DISTURBED AREAS OUTSIDE OF MULCH AREAS WITH CENTIPEDE SEED (SEE LEGEND FOR TYPE)

LANDSCAPE NOTES (continued):

- THE CONTRACTOR SHALL PREPARE ALL SEEDED OR SODDED AREAS TO ASSURE THAT THE SUBGRADE HAS BEEN RAKED AND ROLLED TO ACCEPT THE SOD/SEED. ALL SOD/SEED AREAS MUST BE IRRIGATED OR HAND WATERED. ALL SOD SHALL BE PLACED WITH STAGGERED JOINTS AND NO GAPS BETWEEN SOD JOINTS. SOD SHOULD BE ROLLED AFTER INSTALLATION. ALL SEEDED AND/OR SODDED AREAS SHOULD PROVIDE A SMOOTH SURFACE FREE OF DIPS AND UNLEVELLED GROUND.
- IF AN AUTOMATIC IRRIGATION SYSTEM IS PROVIDED, IT SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6 MONTHS FROM THE ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE IF IRRIGATION HAS NOT BEEN INSTALLED AT THE TIME OF SUBSTANTIAL COMPLETION. ALL MATERIAL INCLUDING SOD AND SEEDED AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE SURVIVAL OF PLANTS.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL DISTURBED AREAS NOT DESIGNATED FOR SOD SHALL BE SEEDDED.
- ALL VEGETATION PROPOSED WITHIN SIGHT DISTANCE AREAS SHALL NOT INTERFERE WITH SIGHT DISTANCE FROM 30' TO 10'.
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.

SIGHT DISTANCE TRIANGLE NOTES
 ALL PROPOSED VEGETATION WITHIN SIGHT DISTANCE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10' (SEC. 18-556 CITY OF WILMINGTON LAND DEVELOPMENT CODE)

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY
	GINKGO BILOBA MAIDENHAIR TREE	2" CAL	58
	QUERCUS SHUMARDII SHUMARD RED OAK	2.5" CAL	8
	ZELKOVA SERRATA 'WIRELESS' WIRELESS ZELKOVA	2.5" CAL	21
SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY
	AZALEA X 'RED RUFFLES' RED RUFFLES AZALEA	12" HT	223
	ILEX CORNUTA 'BURFORDII' BURFORD CHINESE HOLLY	3' HT	7
	LIGUSTRUM JAPONICUM 'EAST BAY' JAPANESE PRIVET	3' HT	229
	MYRICA CERIFERA WAX MYRTLE	3' HT	9
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	QTY
	EREMOCHLOA OPHIUROIDES CENTIPEDE SOD	SOD	7,961 SF
	TRACHELOSPERMUM ASIATICUM 'ASIATIC' ASIATIC JASMINE	4" POTS	953
EXISTING PLANTS TO REMAIN	BOTANICAL / COMMON NAME	CONT	QTY
	EXISTING VEGETATION TO REMAIN EXISTING	EXISTING	7,009 SF

SITE INFORMATION
 OWNER INFORMATION: CAPITAL INVESTMENT PROPERTIES OF WILMINGTON, LLC

PROJECT ADDRESS: 4222 OLEANDER DRIVE WILMINGTON, NC 28403
 4305 AND 4303 SPIREA DRIVE WILMINGTON, NC 28403

PARCEL IDENTIFICATION #: R06106-003-101-001, R06106-003-008-001, R06106-003-007-000, R06106-003-009-000, R06106-003-006-000, R06106-003-017-000, R06106-003-018-000, R06106-003-024-000, R06106-003-023-000, R06106-003-019-000, R06106-003-019-000

CURRENT ZONING: RB - REGIONAL BUSINESS (ALL PARCELS)

EXISTING USE: AUTOMOBILE AND TRUCK DEALER

TOTAL SITE AREA: 369,388 +/- SF (8.48 +/- ACRES)
 TOTAL PROJECT AREA: 309,652 SF
 EXISTING SITE TO REMAIN UNCHANGED (AS DETAILED BELOW): 59,736 SF

26,587 SF (LANDSCAPE AND EXISTING STORM WATER POND LOCATED ON PARCEL R06106-003-019-000)

33,149 SF (PARKING, LOCATED ON PARCELS R06106-003-009-000, R06106-003-007-000, R06106-003-008-001, R06106-003-010-001)

FLOOD INFORMATION: THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3138, MAP NUMBER 3720313800K, DATED AUGUST 28, 2018.

CAMA LAND USE CLASSIFICATION: URBAN

LANDSCAPE CALCULATIONS:

STREET YARD LANDSCAPING - Sec. 18-477

Street	REQ'D	PROV
Oleander Drive (Primary Street Yard) 577.09 LF - 66.16' LF Driveways = 510.93 LF * 25 = 12,773.25 SF	12,773.25 SF	12,808.75 SF
12,773.25 SF / 600 SF = 21.28	21	134
1 Canopy Tree / 600 SF	21	134
6 Shrubs / 600 SF	128	134
Spirea Drive (Secondary Street Yard) = 537 LF * 12.5 = 4,833 SF	6,712.5 SF	8,051 SF
4,833 SF / 600 SF = 8.0	8	97
1 Canopy / 600 SF	8	97
6 Shrubs / 600 SF	48	97

*NOTE: THE EXISTING LANDSCAPING ALONG SPIREA DRIVE SHALL REMAIN AND BE PROTECTED IN PLACE TO THE MAXIMUM EXTENT POSSIBLE AND CONTRIBUTE TOWARDS THE SECONDARY STREET YARD BUFFER REQUIREMENTS. ADDITIONAL PLANTING SHALL BE PROVIDED AS NEEDED TO FULFILL THE MINIMUM CITY REQUIREMENTS FOR LANDSCAPE BUFFERING PRIOR TO PROJECT COMPLETION.

PARKING LOT LANDSCAPING
INTERIOR AREA LANDSCAPING - Sec. 18-481
 Interior Area of the proposed project's Parking Facilities Area = 211,263 SF
 20% of the impervious surface of the proposed parking area shall be shaded as follows:

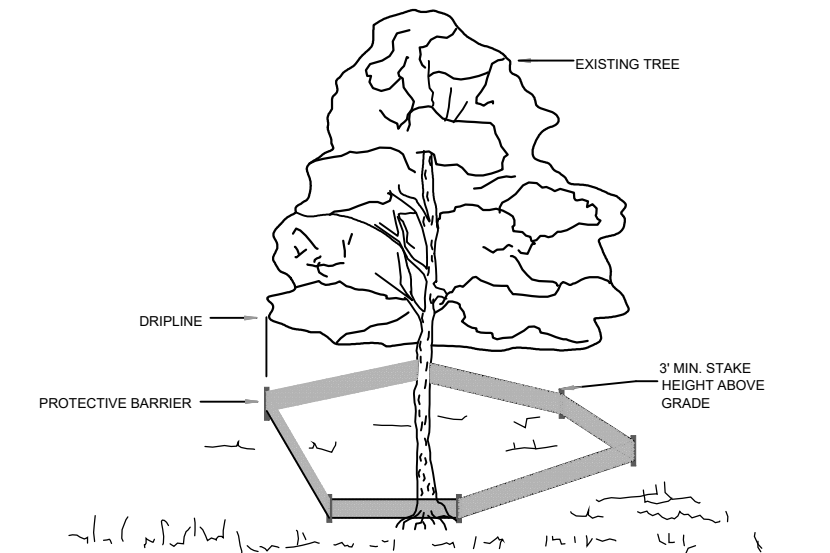
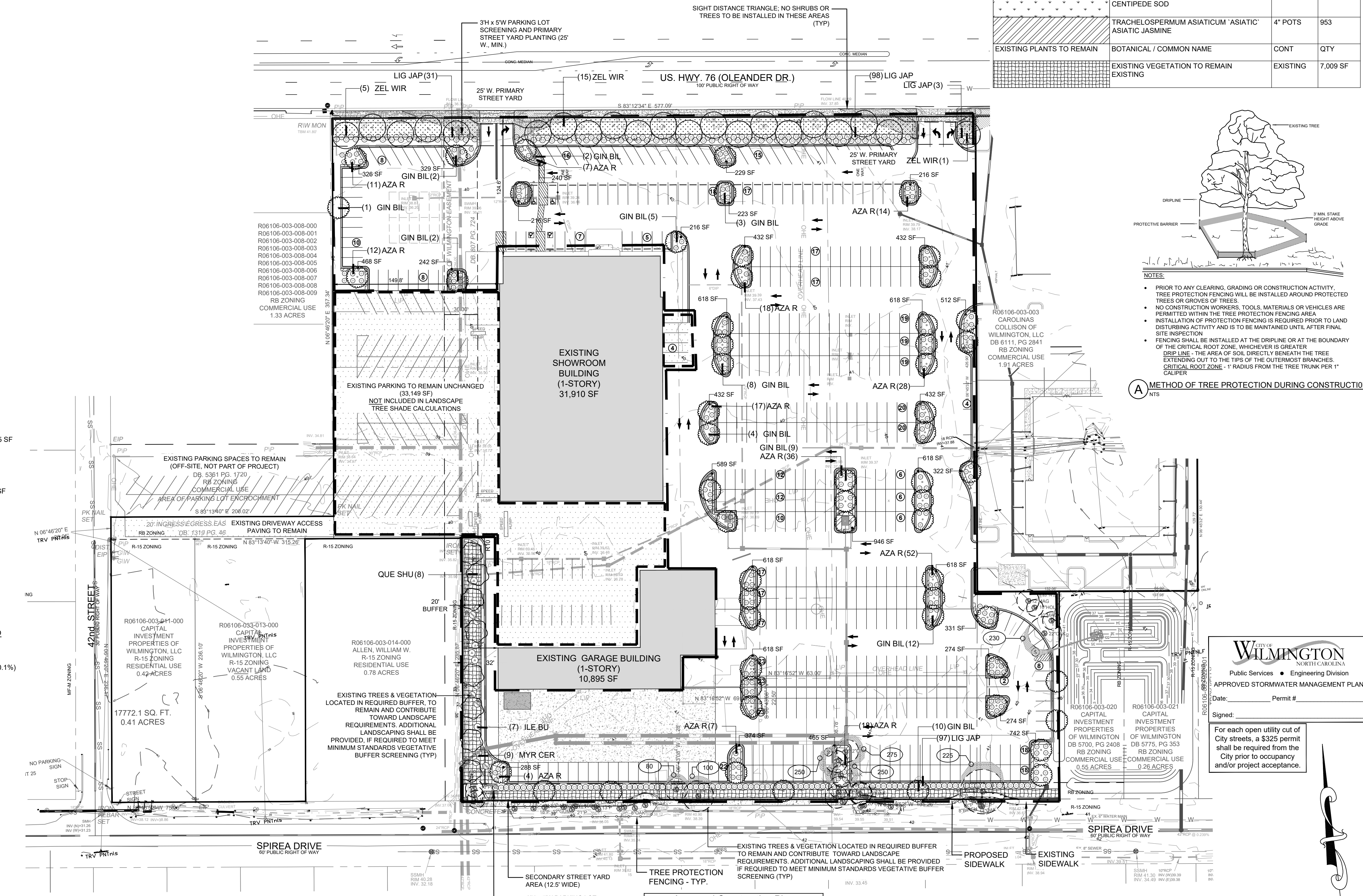
Shade Req'd	Shade Provided
211,263 SF * 20% SHADING = LANDSCAPING SF	42,253 SF
5 Existing Canopy Trees (See Plan for Locations and Shade SF)	1,410 SF
58 Canopy Shade Trees @ 707 SF Each	41,008 SF
TOTAL SF TREE CANOPY PROVIDED	42,418 SF (20.1%)

PARKING AREA SCREENING - Sec. 18-483
 3' H x 5' W Buffer Provided as Required

FOUNDATION PLANTINGS - Sec. 18-490
 Not required

BUFFER YARDS - Sec. 18-18-503

Req'd	Prov
236 LF OF BOUNDARY ADJACENT TO R-15 (1) 8' Tree per 30 LF of Screen - 236/30 = 15.7	8



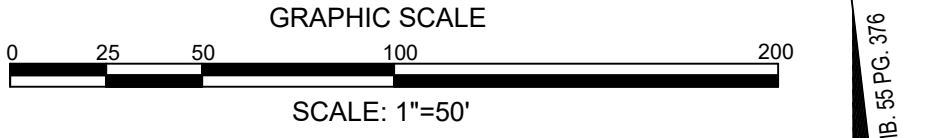
CITY OF WILMINGTON
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name	Date
Planning _____	_____
Traffic _____	_____
Fire _____	_____

NC DENR PWSS WATER PERMIT #: _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)



REVISIONS:

NO.	DATE	DESCRIPTION
3/4/19	8/20/19	RESPONSE TO TRC COMMENTS

CLIENT INFORMATION:
 CAPITAL PROPERTIES OF WILMINGTON, LLC
 4900 LEIGH DRIVE
 RALEIGH, NORTH CAROLINA 27616
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6700 (F)
 NC License #: C-2846

PARAMOUNT ENGINEERING

LANDSCAPE PLAN
PARKING EXPANSION
 CAPITAL FORD OF WILMINGTON
 NEW HANOVER COUNTY
 WILMINGTON, NC

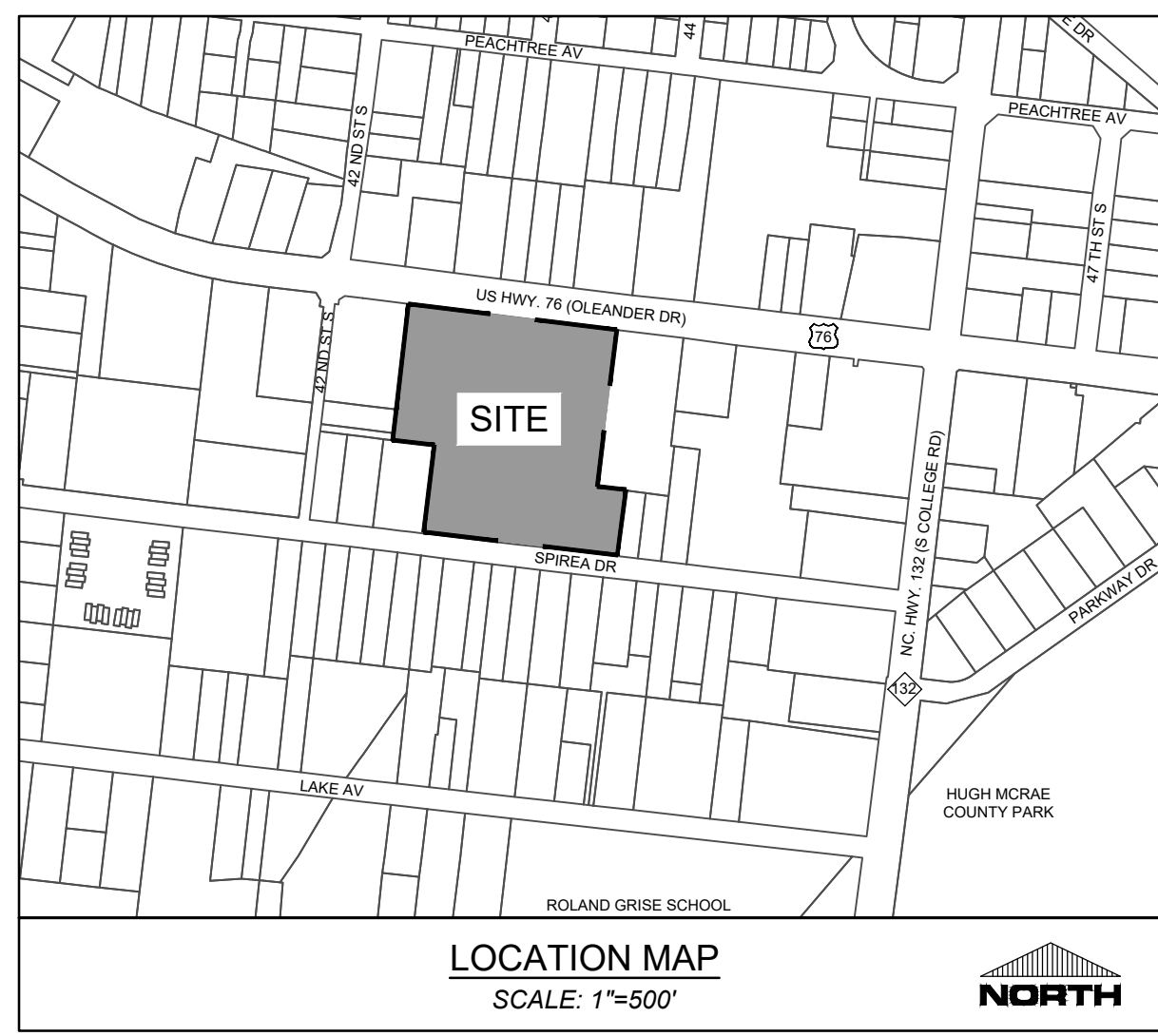
PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

PROJECT STATUS:
 PRELIMINARY LAYOUT
 FINAL DESIGN
 RELEASED FOR CONSTRUCTION

DRAWING INFORMATION:
 DATE: 08/20/19
 SCALE: 1"=50'
 DRAWN: JPC/AM/JRB
 CHECKED: JPC/AM/JRB

SEAL:
 J. P. C. A. R. O. L. A.
 1823
 08/20/19
 J. P. C. A. R. O. L. A.
 A LICENSED PROFESSIONAL ENGINEER

L-1.0
 PEI JOB#: 17410.PE



Capital Ford Parking Expansion		
TREES REMOVED BY HURRICANE FLORENCE SEPTEMBER 2018		
Qty of Trees	Caliper Inches *	Tree Common Name
1	6	DOGWOOD
2	10	OAK
2	12	OAK
1	19	OAK
1	24	MAGNOLIA
1	20	PINE
8 TREES REMOVED BY HURRICANE		

NOTE: ALL PINES ARE PINUS TAEDA, "LOBLOLLY PINE"

TREE REMOVAL LEGEND
 X = EXISTING TREE TO BE REMOVED (SEE TREE REMOVAL AND REQUIRED MITIGATION CHART).
 H = EXISTING TREE DESTROYED, OR GREATER THAN 50% DAMAGED BY HURRICANE FLORENCE TO BE REMOVED WITH NO MITIGATION REQUIRED (SEC. 18-456).
TREE REMOVAL PLAN NOTES
 THIS PLAN PROVIDES AN OVERLAY OF THE PROPOSED SITE PLAN WITH THE EXISTING TREE INVENTORY.

NC DENR PWSS WATER PERMIT #: _____ GPD
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____ GPD
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Approved Construction Plan
 Name: _____ Date: _____
 Planning: _____
 Traffic: _____
 Fire: _____

City of Wilmington
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

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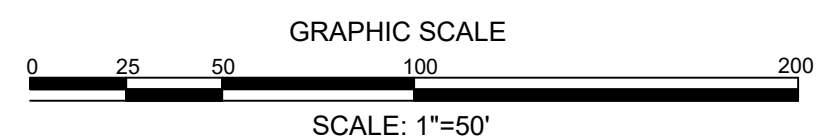
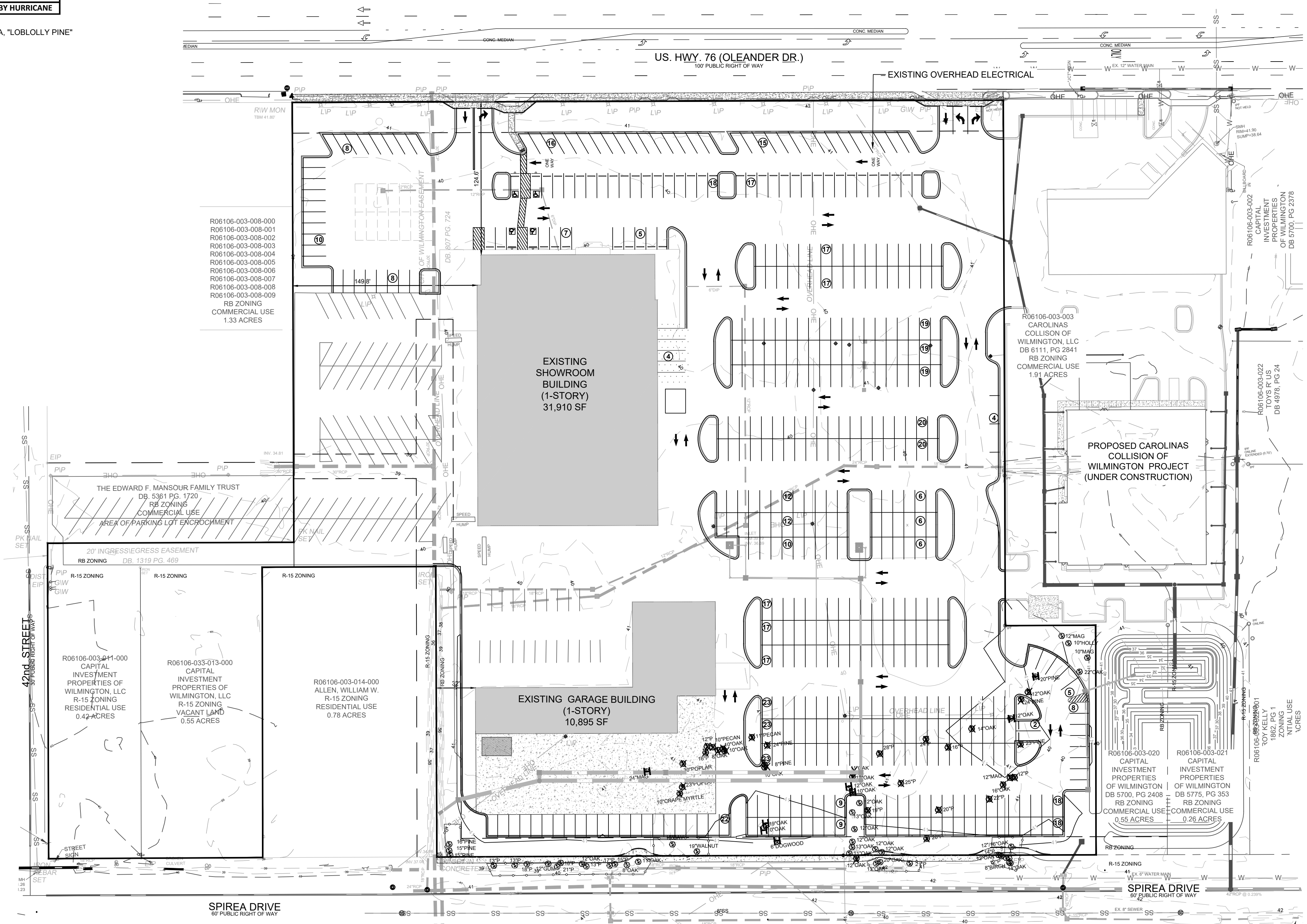
SITE INFORMATION
OWNER INFORMATION: CAPITAL INVESTMENT PROPERTIES OF WILMINGTON, LLC
PROJECT ADDRESS: 4222 OLEANDER DRIVE WILMINGTON, NC 28403
 4201, 4209, 4305 AND 4303 SPIREA DRIVE WILMINGTON, NC 28403
PARCEL IDENTIFICATION #: R06106-003-011-000, R06106-003-013-000, R06106-003-101-001, R06106-003-008-001, R06106-003-007-000, R06106-003-009-000, R06106-003-006-000, R06106-003-017-000, R06106-003-018-000, R06106-003-024-000, R06106-003-023-000, R06106-003-019-000, R06106-003-019-000
CURRENT ZONING: CB - COMMUNITY BUSINESS (ALL PARCELS, EXCEPT AS NOTED BELOW)
 R-15 - RESIDENTIAL DISTRICT (PARCELS R10606-003-011-000, R10606-003-013-000)
EXISTING USE: AUTOMOBILE AND TRUCK DEALER VACANT LAND

LANDSCAPE CALCULATIONS
 SEE SHEET L-1.0 LANDSCAPE PLAN FOR CALCULATIONS.

Capital Ford Parking Expansion Tree Preservation Credit					
Qty of Trees	Caliper Inches *	Tree Common Name	Total Tree Caliper Inches to be Preserved	City Tree Mitigation Credit	Mitigation Credit for Preserved Trees (# of trees)
1	15	BAY	15	3	3
1	19	WALNUT	19	4	4
1	10	HOLLY	10	2	2
1	10	MAGNOLIA	10	2	2
1	12	MAGNOLIA	12	3	3
1	11	OAK	11	2	2
5	12	OAK	60	3	15
2	13	OAK	26	3	6
1	22	OAK	22	4	4
1	28	OAK (MULTI 12, 16)	28	5	5
1	14	PINE	14	3	3
2	15	PINE	30	3	6
1	16	PINE	16	3	3
TOTAL CALIPER INCHES RETAINED ON SITE			273		
				TOTAL TREE CREDITS	58

Capital Ford Parking Expansion Tree Removal & Required Mitigation									
Qty of Trees	Caliper Inches *	Individual Tree Caliper & Mitigation Credits	Tree Common Name	City Tree Type Classification	Total Cal. Inches to be Removed	% Mitigation	Significant	Total Qty. of Mitigation Trees Required	
Note: * All listed as total caliper inches for entire tree cluster or single tree trunk caliper in compliance with City of Wilmington Land Development Code definition for "diameter at breast height"									
Essential Site Improvements: It is anticipated that all trees will be removed for essential site improvements, so only significant trees require mitigation									
REGULATED & SIGNIFICANT TREES									
Category 1 (100% Mitigation)									
1	10		CRAPPE MYRTLE	ornamental flowering	10	100%	yes	6.7	
1	8		OAK	hardwood	8	100%	no	2.7	
3	10		OAK	hardwood	30	100%	no	10.0	
1	11		OAK	hardwood	11	100%	no	3.7	
2	12		OAK	hardwood	24	100%	no	8.0	
1	14		OAK	hardwood	14	100%	no	4.7	
1	16		OAK	hardwood	16	100%	no	5.3	
1	23		POPLAR	hardwood	23	100%	no	7.7	
1	30		POPLAR	hardwood	30	100%	yes	20.0	
					Total Category 1 Significant Trees Mitigation Required:			26.7	
					Total Category 1 Regulated Trees To Be Removed with Essential Site Improvements:			42.0	
Category 2 (75% Mitigation)									
1	10		PECAN	hardwood	10	75%		2.5	
1	11		PECAN	hardwood	11	75%		2.8	
					Total Category 2 Significant Trees:			0	
					Total Category 2 Regulated Trees To Be Removed with Essential Site Improvements:			5.3	
Category 3 (50% Mitigation)									
2	12		PINE (LOBLOLLY)	conifer	24	50%		4.0	
2	16		PINE (LOBLOLLY)	conifer	32	50%		5.3	
1	19		PINE (LOBLOLLY)	conifer	19	50%		3.2	
1	20		PINE (LOBLOLLY)	conifer	20	50%		3.3	
1	22		PINE (LOBLOLLY)	conifer	22	50%		3.7	
1	23		PINE (LOBLOLLY)	conifer	23	50%		3.8	
3	24		PINE (LOBLOLLY)	conifer	72	50%		12.0	
1	25		PINE (LOBLOLLY)	conifer	25	50%		4.2	
1	26		PINE (LOBLOLLY)	conifer	26	50%		4.3	
1	28		PINE (LOBLOLLY)	conifer	28	50%		4.7	
					Total Category 3 Significant Trees:			0.0	
					Total Category 3 Regulated Trees To Be Removed with Essential Site Improvements:			48.5	
Category 4 (25% Mitigation)									
					Total Category 4 Significant Trees:			0	
					Total Category 4 Regulated Trees To Be Removed with Essential Site Improvements:			0	
					Total City of Significant Tree Mitigation (essential site improvements):			27	
					Total Tree Credits:			58	
					Total Qty. of Mitigation Trees Required on Site (or Pay In Lieu Equivalent):			-31	

NOTE: ALL PINES ARE PINUS TAEDA, "LOBLOLLY PINE"



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

NO.	DATE	DESCRIPTION
3/4/19	8/20/19	RESPONSE TO REC COMMENTS
		REVISED LAYOUT

CLIENT INFORMATION:
 CAPITAL PROPERTIES OF WILMINGTON, LLC
 4900 LEIGH DRIVE
 RALEIGH, NORTH CAROLINA 27616

PARAMOUNT ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6700 (F)
 NC License #: C-2846

**TREE REMOVAL PLAN
 PARKING EXPANSION
 CAPITAL FORD OF WILMINGTON
 NEW HANOVER COUNTY
 WILMINGTON, NC**

PROJECT STATUS:
 PRELIMINARY DESIGN
 FINAL DESIGN
 RELEASED FOR CONSTRUCTION

DRAWING INFORMATION:
 DATE: 08/20/19
 SCALE: 1"=50'
 DRAWN: JRC/AMW
 CHECKED: JRC

SEAL

L-1.1

PEI JOB#: 17410.PE